

# Appendix A.5.3

## Galway Racecourse Stables Proposals

# A.5.3 Galway Racecourse Stables Proposals



COADY  
ARCHITECTS

**GALWAY RACECOURSE  
STABLEYARDS**

DESIGN REPORT

*for*

Planning Application

June 2024 Job ref: 2833

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## Planning Design Report

Project: **Galway Racecourse Stableyards**  
Job Ref: **2833**  
Date: **June 2024**

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### 1.0 Introduction

This Design Report has been prepared to accompany the enclosed drawings as part of a Planning Permission Application for the construction of a new Temporary and Permanent Stableyard for Galway Racecourse, Ballybrit, Galway. The report primarily describes site and building design and materiality, phasing briefly, and should be read in conjunction with the main planning application report provided by ARUP.

The planning application is for the provision of a new Permanent Stableyard and Horsebox parking, relocated and reconfigured from their existing location in order to accommodate the proposed N6 Galway City Ring Road (GCRR) and associated road layout works in the vicinity of Galway Racecourse (GR). These works include the proposed N6 GCRR tunnel, which is proposed to cross the northeast corner of GR lands underneath the existing Stableyard location. In the period during which the GCRR is under construction there is a need to accommodate the existing Stableyard in a temporary location until such time as the construction of the new Permanent Stableyard is completed. The application therefor includes the provision of a Temporary Stableyard, located infield of the racetrack.

Application Drawings No 2833-GRS-COA-00-ZZ-DR-A-0503 to 0507 outline the proposed sequence of the proposed development as follows:

- **Phase 1** – Temporary Stableyard, Parade Ring, Maintenance Shed, Machinery Shed constructed. Main water tank relocated.
- **Phase 2** – Demolition of existing Stableyard under the GCRR works ABP-318220-23 & ABP-318217-23.
- **Phase 3** – Construction of Permanent Stableyard, Temporary yard remains operational.
- **Phase 4** – Demolition of Temporary Stableyard, Permanent yard is operational.
- **Phase 5** – Site of Temporary Stableyard reverts to infield parking facility.

The following summarised the proposed schedule of accommodation provided by the development:

- Stableyard:
  - 159 No. Stables (Temporary yard) / 151 No. Stables (Permanent yard)
  - Irish Horse Racing Board (IHRB) Vet Boxes
  - IHRB Security Offices
  - Galway Racecourse Vet Boxes
  - Galway Racecourse Security Offices
  - Groom's Canteen and Toilets
  - Bedding Stores
  - Horsebox Loading Bays
  - Horsebox Parking
  - Horse wash-down

- Machinery Shed
- Maintenance Shed
- Pre-parade Ring – This proposes minor alterations to the Pre-parade ring included in the previously granted planning application Planning Ref: 19160

## 2.0 Site Description & Context

The planning development boundary encompasses the entire GR lands as indicated on Drawing No. 2833-GRS-COA-00-ZZ-DR-A-0501, with an area of 61.06Ha. approximately. The area to which the proposed development is concentrated is indicated at Figure 1 below. The Temporary Stableyard is proposed to be located in the infield area of the GR track (A). The Permanent Stableyard is proposed to be located at the northeast corner of the site (B) over the proposed GCRR tunnel, on the existing Brooks Building Supplies site. A letter of consent from the owner of the Brooks site is included with this application. The northern section of the site is bounded to the north, east and west by industrial and office buildings. The southern section is bounded by lands under the ownership of the applicant, consisting of green field and racecourse buildings. The Pre-Parade Ring is proposed in the location of an existing staff car park adjacent to the weigh in building (C). The Existing Stableyard (D), existing horsebox parking and loading bays (E) are proposed to be demolished in the GCRR development works. The Racecourse Road (F) presently dissects the NW corner of the site, separating the Brooks site to the north.

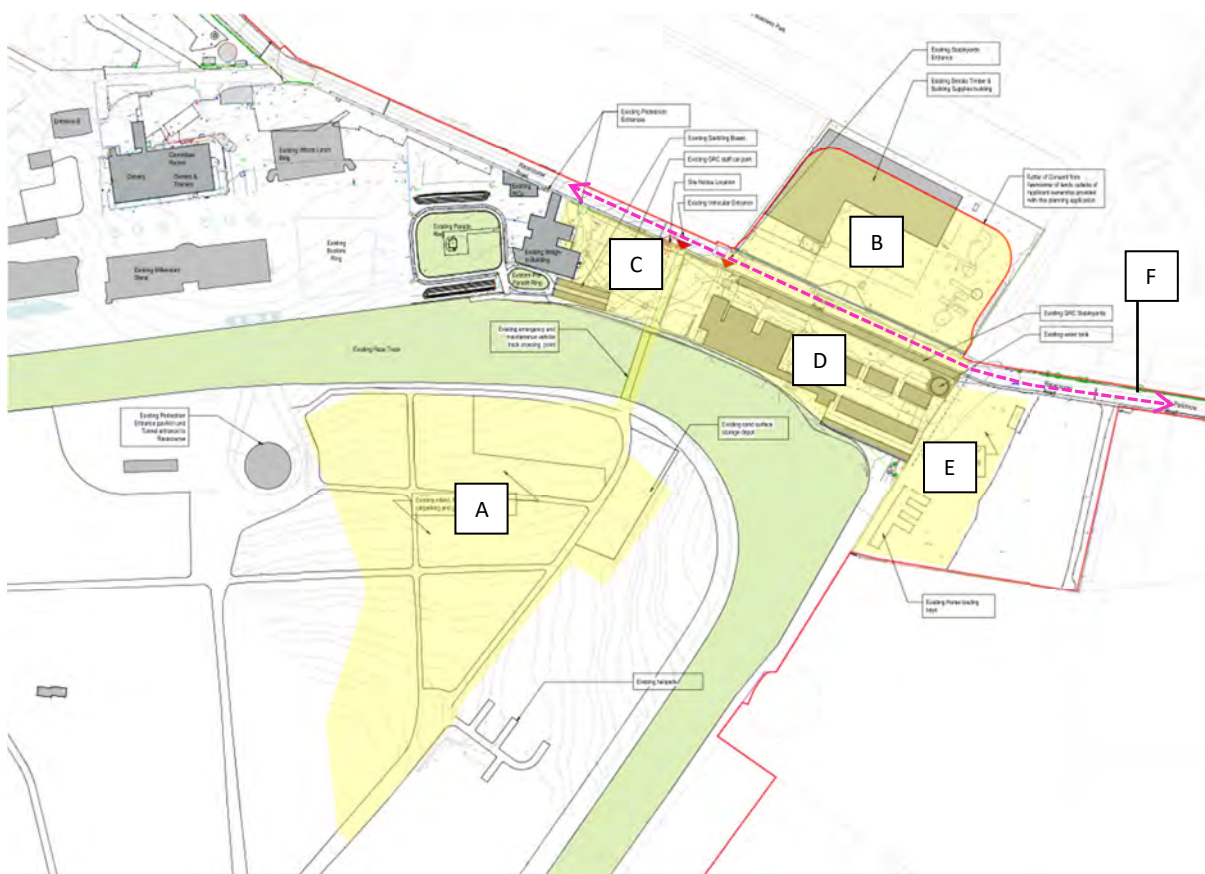


Figure 1 – Map Showing Existing Layout

The N6 GCRR tunnel is proposed to pass underneath the site where the Existing Stableyard is sited, and where the Permanent Stableyard is proposed to be located, comprising 151 stables, machinery and maintenance sheds, turf club vet boxes and security offices, groom’s pavilion and horse wash-down facilities. Horsebox parking is proposed adjacent to the stableyard with access from Racecourse Road. The GCRR works include the re-alignment of racecourse road to the perimeter of the Permanent yard (Figure 2).

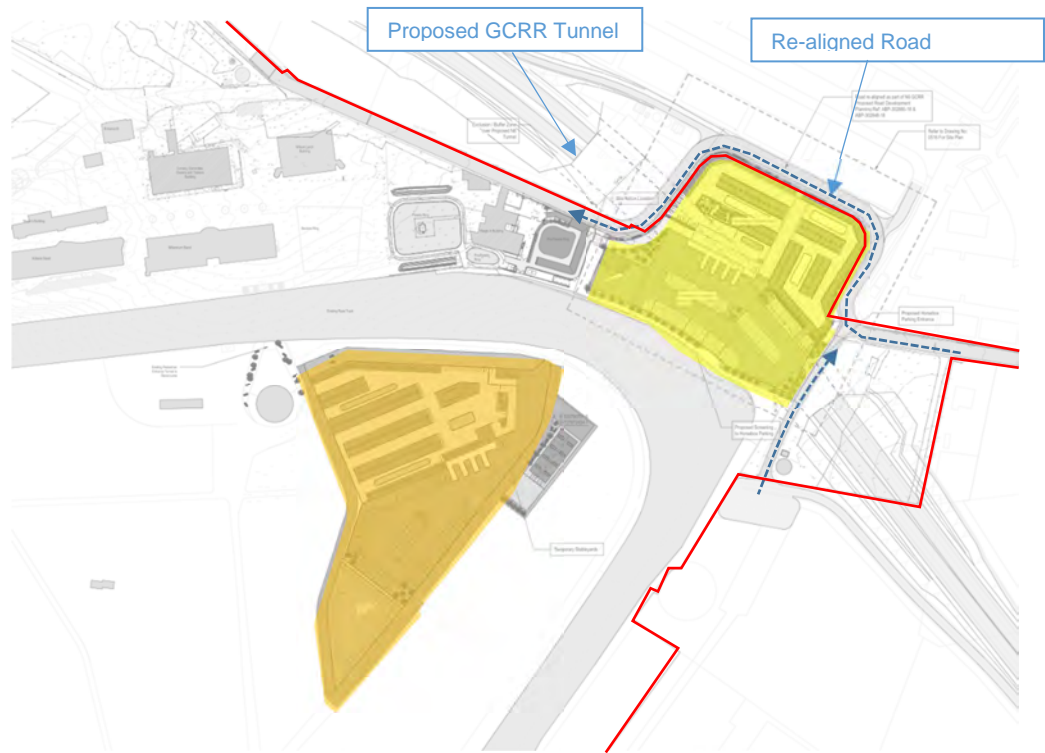


Figure 2 – Map Showing GCRR Tunnel location

- Proposed Development Boundary
- Extent of proposed Permanent Stableyard
- Extent of proposed Temporary Stableyard

### 3.0 Temporary Stableyard

In order to accommodate the construction of the N6 GCRR tunnel, a proposed Temporary Stableyard is located infield of the racetrack, to the south of the existing location. The site is split into 2 zones - Horsebox parking which is located off an existing infield access route, and the Stableyard itself, to the west of this access road (Figure 3). Refer to Drawing No. GRS-COA-01-ZZ-DR-A-0509 for details.

Access points were determined as the above zones were defined (Figure 3). These points informed the proposed direction of flow across the site.

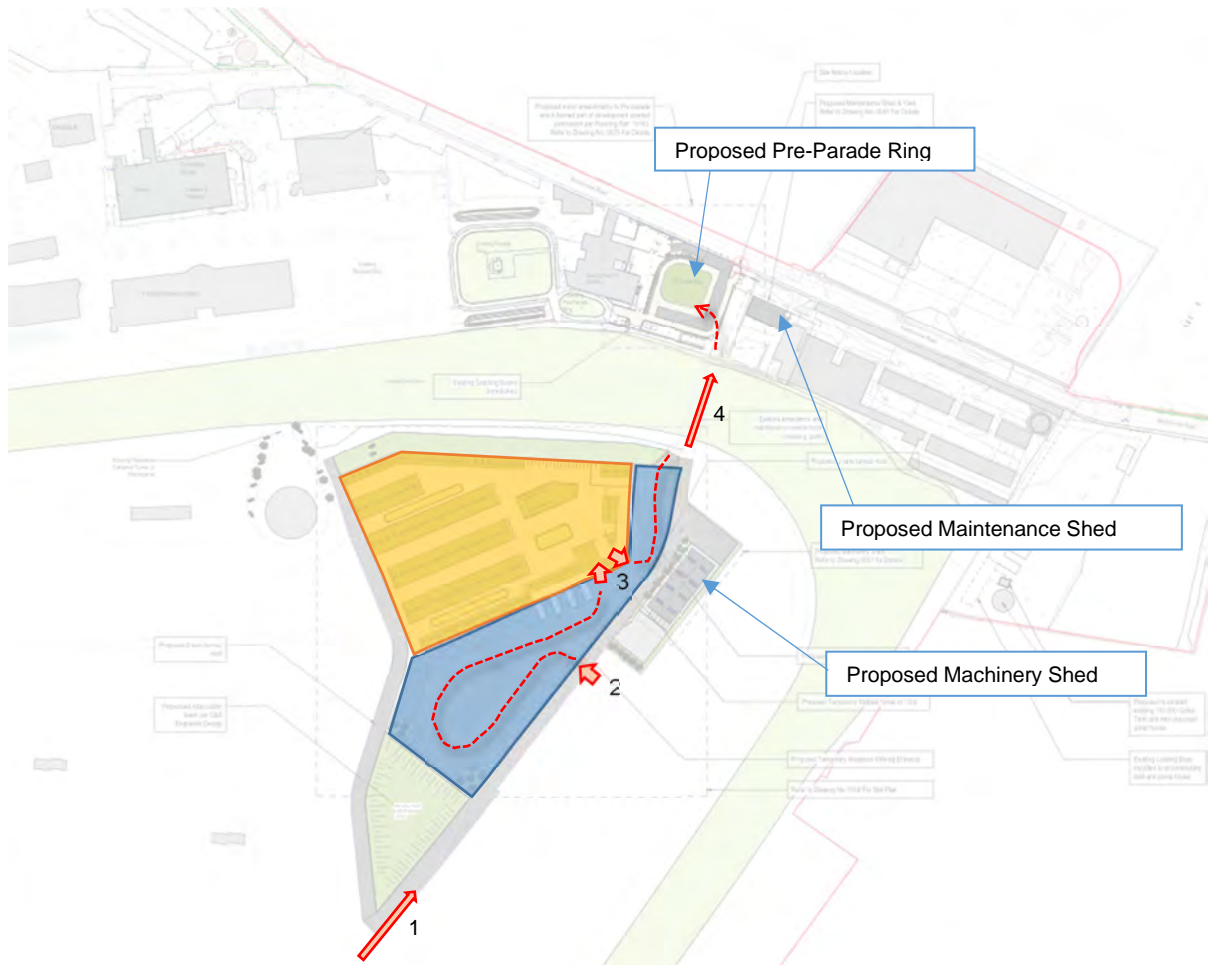


Figure 3 – Map Showing Proposed Temporary Stableyard Main access and movements

Proposed Site Boundary

Extent of proposed Temporary Stableyard Site

- 1 – Access for Horsebox traffic from N6 entrance
- 2 – Temporary Horsebox Parking entrance
- 3 – Temporary Stableyard entrance
- 4 – Access to Pre-Parade via existing track crossing point

### 3.2 Temporary Stableyard – Layout & Design

The layout of the Temporary Stableyard is configured in a functional manner to meet the requirements of the schedule of accommodation and flow movements across the site both on and off race days (Figure 4).

Buildings are aligned parallel to the existing contours and are sunken into the site to avoid obstruction of track viewing from the main stands, to best suit circulation, drainage and horse safety across the site. Refer to Drawing Nos. GRS-COA-00-ZZ-DR-A-0509 and 0513 for details.



Figure 4 – Proposed Temporary Stableyard Site Plan (Dwg 0509 Extract)

The following summarises of the schedule of accommodation included:

- 159 No. Stables
- IHRB Office & Treatment Boxes
- IHRB Security Offices
- Racecourse Vet Office & Treatment Boxes
- Racecourse Security Offices
- Grooms Canteen & Toilets
- Bedding Stores

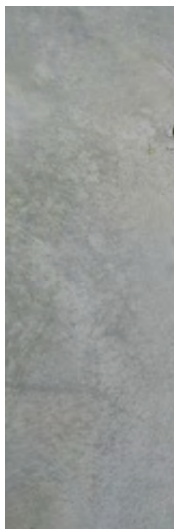
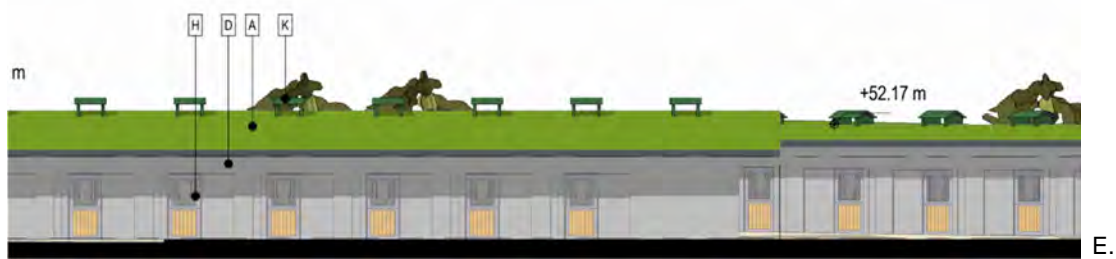
### 3.3 Temporary Stableyard - Materials & Finishes

#### External elevations to the road –

In keeping with the functional and security requirements of the Temporary Stableyard, elevations are proposed to be smooth precast concrete wall, with timber and galvanised steel framed gates. Refer to Drawing No. GRS-COA-00-ZZ-DR-A-0515 for details.

#### Internal elevations within the yard –

Within the yard, a limited and robust palette of materials is necessary in order to facilitate the requirements of functional design for horses. The buildings within the yard are protected by the perimeter wall and use it as a structural 'lean-to' support. The design prioritises shelter - from overhangs; freedom of circulation – level access across the yard; and the overall comfort and safety of the horses – minimal wall projections, sliding gates and doors, natural ventilation. Materials proposed include smooth finished precast concrete, Green roof build up to minimise visual appearance from the main racecourse viewing stands; and stable doors of steel and recycled plastic. Refer to Drawing Nos. GRS-COA-00-ZZ-DR-A-0510 to 0512 for details.



E. Stable building part elevation

F. Smooth finished precast concrete detail

G. Precedent image of green roof

H. Recycled plastic and galvanised steel framed sliding stable door

H.

*Figure 6 – Temporary Stableyard - Materials Proposed***3.4 Temporary Stableyard – Post-use**

As indicated in the phasing outline at 1.0 above, it is proposed to demolish the Temporary Stableyard once the Permanent Stableyard has been completed and is ready for occupation. In order to minimise waste material, the site of the Temporary Stableyard is designed such that it is proposed to revert to an infield parking area with landscaped areas, and the pavilion retained for re-use as a race day facility. Parking bays and vehicular aisles follow the footprint of the stableyard layout, re-using the building footings and yard base layers.

*Figure 7 – Parking area on Temporary Stableyard site (Dwg 0507 Extract)*

#### 4.0 Permanent Stableyard

##### 4.1 Site Restrictions

Due to the prohibition of locating structures within a 9.0m buffer zone over the tunnel, the area upon which structures can be located is isolated from the main racetrack. The site is split into 2 zones - Horsebox parking which is located over the buffer zone and - the Stableyard itself, located to the north of the proposed tunnel (Figure 8). Refer to Drawing No. GRS-COA-00-ZZ-DR-A-0516 for details.

Access points were determined as the above zones were defined (Figure 8). These points informed the proposed direction of flow across the site.

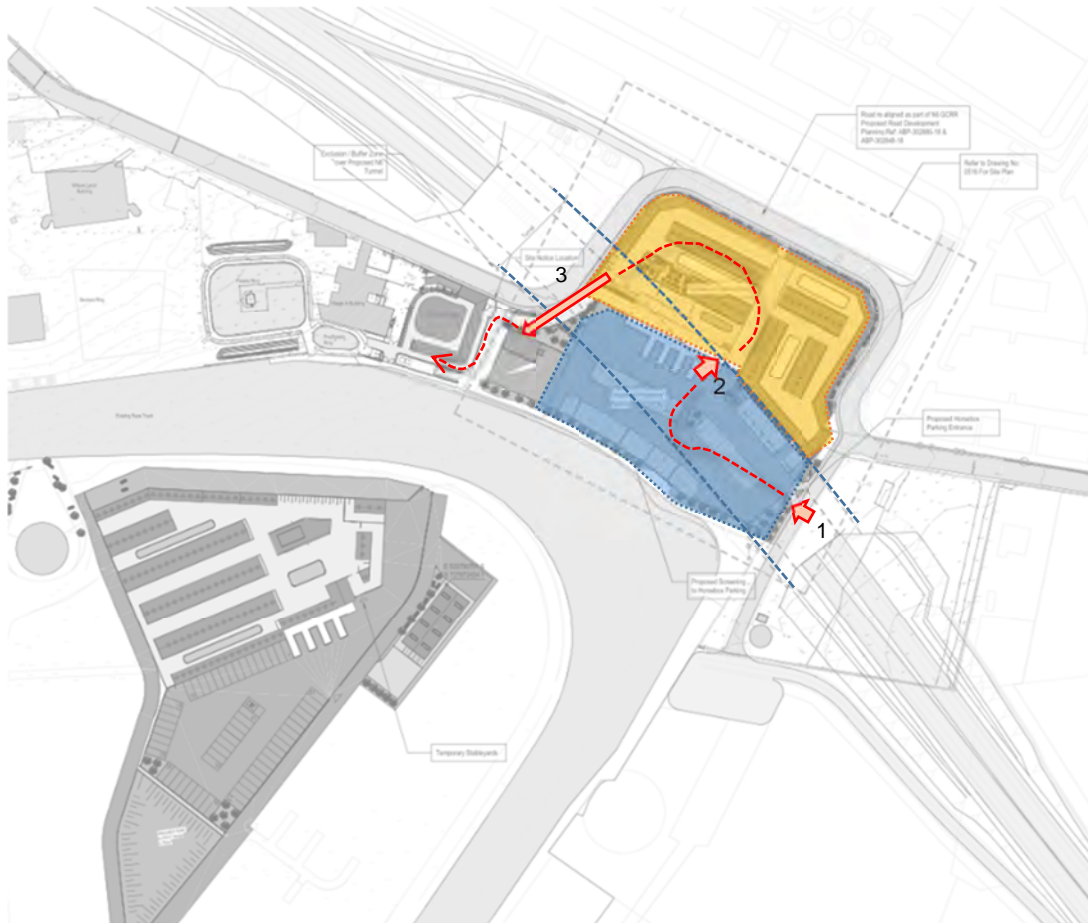


Figure 8 – Site Zones & Access Points

Extent of 9.0m buffer over the tunnel    - - - - -

Stableyard   

Horsebox Parking   

1 – Public Road – Horsebox Parking

2 – Horsebox Parking to Stableyard

3 – Stableyard to Track

#### 4.2 Permanent Stableyard - Layout & Design

The layout of the Permanent Stableyard is configured to best meet the requirements of the schedule of accommodation and flow movements across the site both on and off race days, as well as provide for a safe and comfortable environment for the end user.

Buildings are grouped together in zones within the Stableyard that serve specific purposes related to both pre- and post-race movement through the yard (Figure 9). Refer to Drawing Nos. GRS-COA-00-ZZ-DR-A-0516 and 0520 for details.



Figure 9 – Proposed Permanent Stableyard Site Layout (Dwg 0516 Extract)

The following summarises the schedule of accommodation included:

- 151 No. Stables
- Covered Machinery Area
- Maintenance Shed
- Turf Club Office & Treatment Boxes
- Turf Club Security Offices
- Racecourse Vet Office & Treatment Boxes
- Racecourse Security Offices
- Grooms Canteen & Toilets
- Bedding Stores

The proposed typology of the Permanent Stableyard is that of a secure, walled enclosure, with the buildings within the yard protected by a robust perimeter wall (Figure 5).

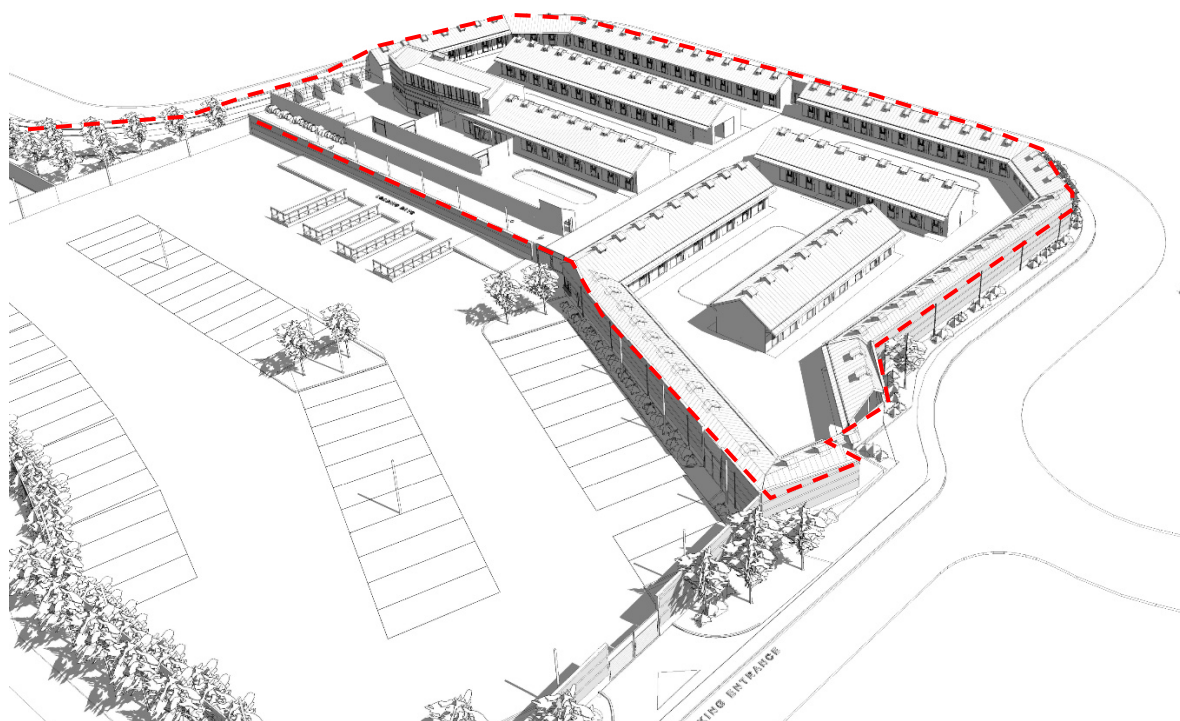


Figure 10 – Proposed Aerial View from the West

Walled Enclosure    - - - - -

### 4.3 Permanent Stableyard - Materials & Finishes

#### External elevations to the road –

External elevations to the road are proposed to consist of precast concrete banding and dry-stone wall infill, with openings of timber and galvanised steel infill. Materials are chosen as being synonymous with the local and broader hinterland of Galway. A landscaped buffer zone serves to soften the appearance of the perimeter wall and provide opportunity for landscaping to develop over time along the racecourse road. Refer to Drawing No. GRS-COA-00-ZZ-DR-A-0522 for details.

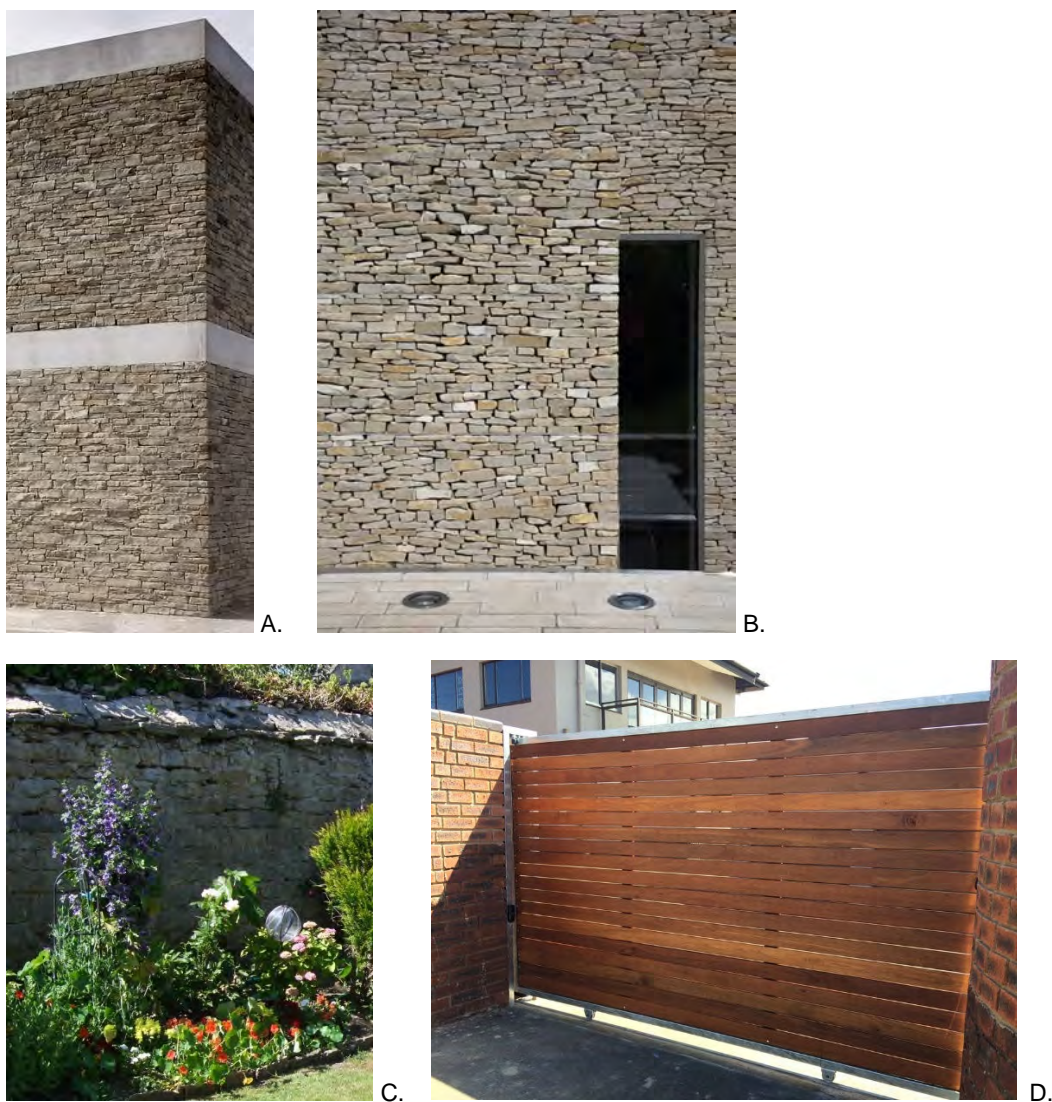


Figure 11 – Permanent Stableyard – Materials proposed 1

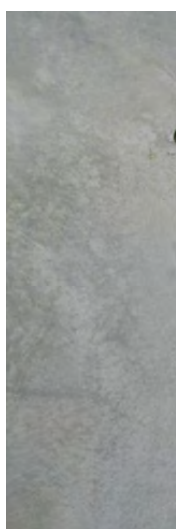
- A. Concrete banding with dry stone infill
- B. Dry stone infill detail
- C. Permanent landscaped border
- D. Timber and galvanised steel framed gate detail

### Internal elevations within the yard –

Within the yard, a limited and robust palette of materials is necessary in order to facilitate the requirements of functional design for horses. The buildings within the yard are protected by the perimeter wall and use it as a structural 'lean-to' support. The design prioritises shelter - from overhangs; freedom of circulation – level access across the yard; and the overall comfort and safety of the horses – minimal wall projections, sliding gates and doors, natural ventilation. Materials proposed include smooth finished precast concrete, standing seam metal roofing and stable doors of steel and recycled plastic. Refer to Drawing Nos. GRS-COA-00-ZZ-DR-A-0517 to 0519 for details.



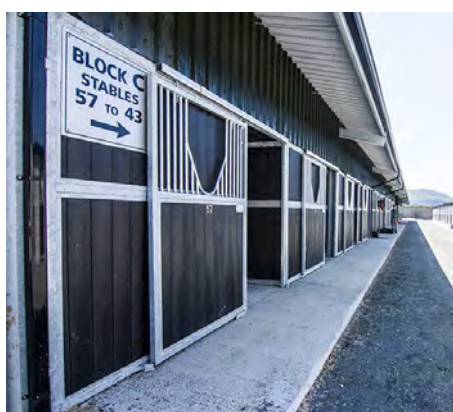
E.



F.



G.



H.

- E. Stable building part elevation
- F. Smooth finished precast concrete detail
- G. Precedent image of roof and overhangs
- H. Recycled plastic and galvanised steel framed sliding stable door detail

Figure 12 – Permanent Stableyard – Materials proposed

## 5.0 Landscape Design

The proposed development includes a comprehensive landscaping scheme as designed by Brady Shipman Martin landscape consultants. The scheme is designed to embed the buildings into the site and improve visual amenity across the site, during all phases of the proposed development. Proposed Landscape scheme drawings and report - which includes some photomontage studies to compare existing and proposed impacts of the development - are included as Appendix C of this report.

## 6.0 Conclusion

The proposed Stableyard development is designed to best meet accommodation and maintenance requirements of GR, for the duration of the construction of the GCRR and after its completion.

The Temporary Stableyard is designed to best meet GR's requirements, both on and off race days, over the course of the construction of the GCRR and the Permanent Stableyards. It is sited infield to mitigate disruption to surrounding properties and allow for an adapted use as a parking facility beyond its service life.

prioritised emphasis on the comfort and safety of end users – both horses and personnel alike. It is seen as a positive addition to the collection of buildings within the racecourse complex and will provide an assured contribution to the future of Galway Racecourse.



Figure 8 – Proposed Permanent Stableyard Plan after completion. (Dwg 0507 Extract)

## 7.0 References

- IHRB / HRI – Racecourse Manual
- BHA General Instructions - Official Racecourse Stables and Horsebox Park – British Horseracing Authority, *April 2017*
- Teagasc  
<https://www.teagasc.ie/rural-economy/rural-development/equine/building-specifications--planning/>

## **APPENDIX A**

### Schedule of Areas

## **APPENDIX A i)**

Temporary Stableyard : Schedule of Areas

Temporary Stableyard - Schedule of Areas

Project: Galway Racecourse Stableyard  
Job ref: 2833  
Date: 26th June 2024  
Revision: P-1

		Areas		
Room No.	Room Name	Area (m <sup>2</sup> )	Quantity	Total Area (m <sup>2</sup> )
	Stableyard			2,636.50
	Stable Areas - Total			1,993.50
	Typical Stable	11.5	159	1,828.50
	Internal walls			165.00
	Vet Areas - Total			138.00
	IHRB Vet Office	20	1	20.00
	Typical IHRB Treatment Box	24	2	48.00
	RC Vet Office	16	1	16.00
	Typical RC Vet Treatment Box	22	2	44.00
	Internal walls			10.00
	Security Areas - Total			77.00
	IHRB Security Office	20	1	20.00
	RC Security Office	16	1	16.00

	RC Sleeping Accommodation	32	1	32.00
	- En-suite	4	1	4.00
	Internal walls	5	1	5.00
	<b>Store Areas - Total</b>			<b>150.00</b>
	Bedding Store	50	1	50.00
	Bedding Store	50	1	50.00
	Stores - other	25	2	50.00
	<b>Grooms Pavilion</b>			<b>278.00</b>
	Male Shower / Toilets	27.5	1	27.50
	Female Shower / Toilets	22.5	1	22.50
	Kitchen WC, Changing	16	1	16.00
	Kitchen	45	1	45.00
	Canteen	98	1	98.00
	Circulation & internal walls	43	1	43.00
	Plant	26	1	26.00
	<b>Machinery Shed</b>	<b>475</b>	<b>1</b>	<b>475.00</b>
	<b>Maintenance Shed</b>			<b>215.00</b>
	Shed Space	117.5	1	117.50
	Drying Room	27.5	1	27.50

	Toilets	10	1	10.00
	Kitchenette	25	1	25.00
	Office	10	1	10.00
	Stairs Circulation	10	1	25.00
	<b>Pre-parade Ring</b>			<b>211.00</b>
	Saddling Box - Open	11.5	10	115.00
	Saddling Box - Closed	25	1	25.00
	Testing Box	25	1	25.00
	Farrier Box	25	1	25.00
	Vet Box	21	1	21.00

**TOTAL GROSS INTERNAL AREA:****3,537.50**

## **APPENDIX A ii)**

Permanent Stableyard : Schedule of Areas

**Permanent Stableyard - Schedule of Areas**

Project: Galway Racecourse Stableyard  
 Job ref: 2833  
 Date: 26th June 2024  
 Revision: P-1

		Areas		
Room No.	Room Name	Area (m <sup>2</sup> )	Quantity	Total Area (m <sup>2</sup> )
	<b>Stableyard</b>			<b>2,584.00</b>
	<b>Stable Areas - Total</b>			<b>1,897.50</b>
	Typical Stable	11.5	151	1,736.50
	Internal walls			161.00
	<b>Vet Areas - Total</b>			<b>146.50</b>
	IHRB Vet Office	17	1	17.00
	Typical IHRB Treatment Box	24	2	48.00
	RC Vet Office	14.5	1	14.50
	Typical RC Vet Treatment Box	22	2	44.00
	Internal walls			23.00
	<b>Security Areas - Total</b>			<b>72.00</b>
	IHRB Security Office	18	1	18.00
	RC Security Office	18	1	18.00

	RC Sleeping Accommodation	24	1	24.00
	- En-suite	4	1	4.00
	Internal walls			8.00
	<b>Store Areas - Total</b>			<b>105.00</b>
	Bedding Store	50	1	50.00
	Bedding Store	25	1	25.00
	Stores - other	10	3	30.00
	<b>Grooms Pavilion</b>			<b>363.00</b>
	Male Shower / Toilets	25	1	25.00
	Female Shower / Toilets	20	1	20.00
	Kitchen WC, Changing	20	1	20.00
	Cleaner's Store	6	1	6.00
	Kitchen	60	1	60.00
	Canteen	110	1	110.00
	Stairs Lift Circulation Internal walls	56	2	112.00
	Plant	10	1	10.00
	<b>Machinery Shed</b>	<b>475</b>	<b>1</b>	<b>475.00</b>
	<b>Maintenance Shed</b>			<b>215.00</b>
	Shed Space	117.5	1	117.50

	Drying Room	27.5	1	27.50
	Toilets	10	1	10.00
	Kitchenette	25	1	25.00
	Office	10	1	10.00
	Stairs Circulation	10	1	25.00
	<b>Pre-parade Ring</b>			<b>211.00</b>
	Saddling Box - Open	11.5	10	115.00
	Saddling Box - Closed	25	1	25.00
	Testing Box	25	1	25.00
	Farrier Box	25	1	25.00
	Vet Box	21	1	21.00

**TOTAL GROSS INTERNAL AREA:****3,485.00**

## **APPENDIX B**

A3 Architectural Drawings | COADY

## 2833

COADY ARCHITECTS

**Galway Racecourse, Ballybrit, Galway, H91 V654**

Issue Date

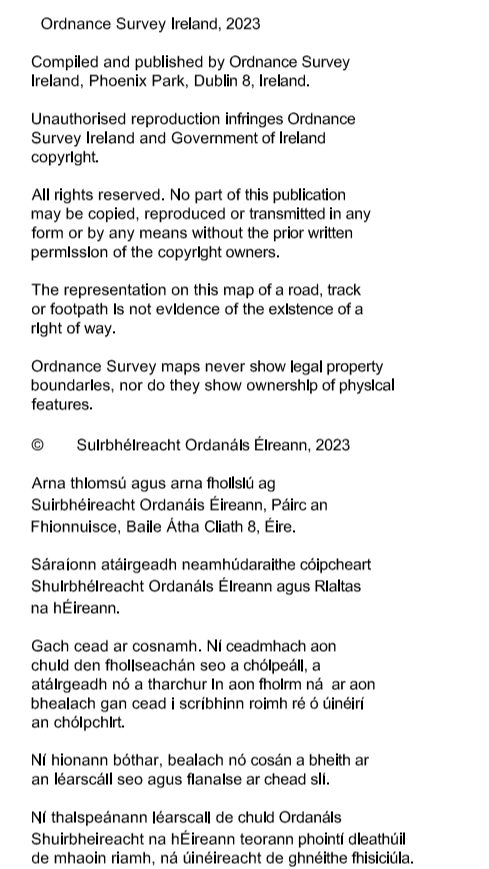
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Distribution		Company Name																				
Client	Galway Racecourse												X							X	X	X
Quantity Surveyor																						
Services Consultant																						
Structural / Civil Engineer	ARUP												X		X	X			X	X	X	
PSDP (Project Supervisor Design Process)																						
Landscape Consultant																						
Fire Consultant	Jensen Hughes												X					X				
Planning Consultant																						
Local Authority	Galway City Council																					
Catering Consultant	QA Design													X								
E = Email   P = Paper   R = Reduced Set   D = Disk   W = Web Based Project System   M = Multiple												E	E	E	E	E	E	E	W	W	E	
Suitability Status : Code - Description (BS 1192:2007+A1:2015)																						
S0 = WIP, S1 = For Co-ordination, S2 = For Information, S3 = For Review & Comment, S4 = For Stage Approval																						
D1 = For Costing, D2 = For Tender, D3 = For Contractor Design, A4 = For Construction, CR = Construction Record												S3	S3	S3	S3	S3	S3	S3	S4	S4	S4	
Drawing/ Document Name										Latest Status		Latest Rev.	Scale	Size								
Project Code - Originator - Volume - Level - Type - Role - Number (Refer: BS 1192:2007+A2:2016)										Revisions												
COADY Documents																						
0500 - Planning Approval																						
2833-GRS-COA-00-ZZ-DR-A-0500	OS Site Location Map						P5	1:1000	A1									P3	P4	P5		
2833-GRS-COA-00-ZZ-DR-A-0501	Overall Site Location Plan						P4	1:2500	A1									P2	P3	P4		
2833-GRS-COA-00-ZZ-DR-A-0502	Existing Site Plan - Overall						P6	1:1000	A1									P4	P5	P6		
2833-GRS-COA-00-ZZ-DR-A-0503	Proposed Overall Site Layout_PHASE 1-Temporary Stableyards						P7	1:1000	A1									P4	P5	P7		
2833-GRS-COA-00-ZZ-DR-A-0504	Proposed Overall Site Layout_PHASE 2_Existing Stableyard Demolition						P7	1:1000	A1									P4	P5	P6		
2833-GRS-COA-00-ZZ-DR-A-0505	Proposed Overall Site Layout_PHASE 3_Permanent Stableyard						P12	1:1000	A1		P8							P9	P10	P11		
2833-GRS-COA-00-ZZ-DR-A-0506	Proposed Overall Site Layout_PHASE 4_Temporary Stableyard Demolition						P7	1:1000	A1									P4	P5	P6		
2833-GRS-COA-00-ZZ-DR-A-0507	Proposed Overall Site Layout_PHASE 5_Post Temporary Stableyard Demolition						P10	1:1000	A1									P5	P6	P7		
																		P8	P9	P10		
2833-GRS-COA-01-ZZ-DR-A-0509	Temporary Stableyard - Proposed Site Layout						P9	1:500	A1										P8	P9		
2833-GRS-COA-01-ZZ-DR-A-0510	Temporary Stableyard - Proposed Site Sections 1						P6	1:200	A1										P5	P6		
2833-GRS-COA-01-ZZ-DR-A-0511	Temporary Stableyard - Proposed Site Sections 2						P6	1:200	A1										P5	P6		
2833-GRS-COA-01-ZZ-DR-A-0512	Temporary Stableyard - Proposed Site Sections 3						P6	1:200	A1										P5	P6		
2833-GRS-COA-01-00-DR-A-0513	Temporary Stableyard - Proposed Ground Floor Plan						P11	1:200	A1										P9	P10		
2833-GRS-COA-01-RF-DR-A-0514	Temporary Stableyard - Proposed Roof Plan						P5	1:200	A1										P5	P5		
2833-GRS-COA-01-ZZ-DR-A-0515	Temporary Stableyard - Proposed Elevations						P7	1:200	A1										P6	P7		
2833-GRS-COA-02-ZZ-DR-A-0516	Permanent Stableyard - Proposed Site Layout						P8	1:500	A1													
2833-GRS-COA-02-ZZ-DR-A-0517	Permanent Stableyard - Proposed Site Sections 1						P6	1:200	A1										P7	P8		
2833-GRS-COA-02-ZZ-DR-A-0518	Permanent Stableyard - Proposed Site Sections 2						P6	1:200	A1										P5	P6		
2833-GRS-COA-02-ZZ-DR-A-0519	Permanent Stableyard - Proposed Site Sections 3						P6	1:200	A1										P5	P6		
2833-GRS-COA-02-ZZ-DR-A-0520	Permanent Stableyard - Proposed Ground & First Floor Plan						P13	1:200	A1										P11	P12		
2833-GRS-COA-02-RF-DR-A-0521	Permanent Stableyard - Proposed Roof Plan						P6	1:200	A1										P5	P6		
2833-GRS-COA-02-ZZ-DR-A-0522	Permanent Stableyard - Proposed Elevations						P7	1:200	A1										P6	P7		
2833-GRS-COA-02-ZZ-DR-A-0523	Permanent Stableyard - Groom's Pavilion- Proposed Plans, Sections, Elevations						P9	1:200	A1										P7	P8	P9	
2833-GRS-COA-01-ZZ-DR-A-0524	Temporary Stableyard - Groom's Pavilion- Proposed Plans, Sections, Elevations						P1	1:200	A1		P5								P6	P7		
2833-GRS-COA-03-ZZ-DR-A-0525	Preparade Ring - Proposed Plans, Sections, Elevations						P4	1:200	A1										P3	P4		
2833-GRS-COA-04-ZZ-DR-A-0530	Maintenance Shed - Proposed Plans, Sections, Elevations						P5	1:200	A1										P4	P5		
2833-GRS-COA-05-ZZ-DR-A-0531	Machinery Shed - Proposed Plans, Sections & Elevations						P5	1:200	A1										P3	P4		
					Count	99	178	178	178	2	3	3	1	5	1	27	27	8				

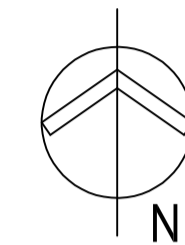
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NOTE: Refer to Dwg No. 0501 for site red line boundary extents

Proposed Development Boundary 

Location of Site Notice



Revisions:			
1	Draft Planning Pack Issue	2023-10-13	SM
2	Draft Planning Pack Update	2024-01-14	SM
3	Issue to ARUP for Planning Application	2024-04-10	SM
4	Planning Application Issue	2024-05-07	SM
5	Issue following ARUP comments	2024-05-22	SM
Rev	Description	Date	By

Project:  
Galway Racecourse, Stableyard

Client:  
Galway Racecourse

Title:  
OS Site Location Map

Drawing / Document Name:  
Project Number      Project      Originator      Volume      Level      Type      Role      Sheet Number

**2833**      GRS-COA-00-ZZ-DR-A-**0500**

Suitability Status : Code - Description	Revision:
S4 - For Stage Approval	P-5

Scale @ A1	Drawn:	Checked:	Date:
1:1000	Molly B Dowling	Shane Meehan	10-10-2023

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Site Notice Location

Tain Road

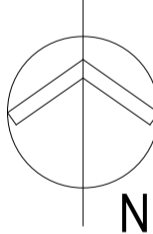
Red line boundary showing extent of site development boundary for this planning application. Area: 61.06 Ha

Site Notice Location

Letter of Consent from lawnmowner of lands outside of applicant ownership provided with this planning application

Site Notice Location

E 534254559.0  
N 727912473.0



Revisions:

1	Draft Planning Pack Update	2024-01-12	SM
2	Issue to ARUP for Planning Application	2024-04-10	SM
3	Planning Application issue	2024-05-07	SM
4	Issue following ARUP Comments	2024-05-22	SM
Rev	Description	Date	By

Project:  
Galway Racecourse, Stableyard

Client:  
Galway Racecourse

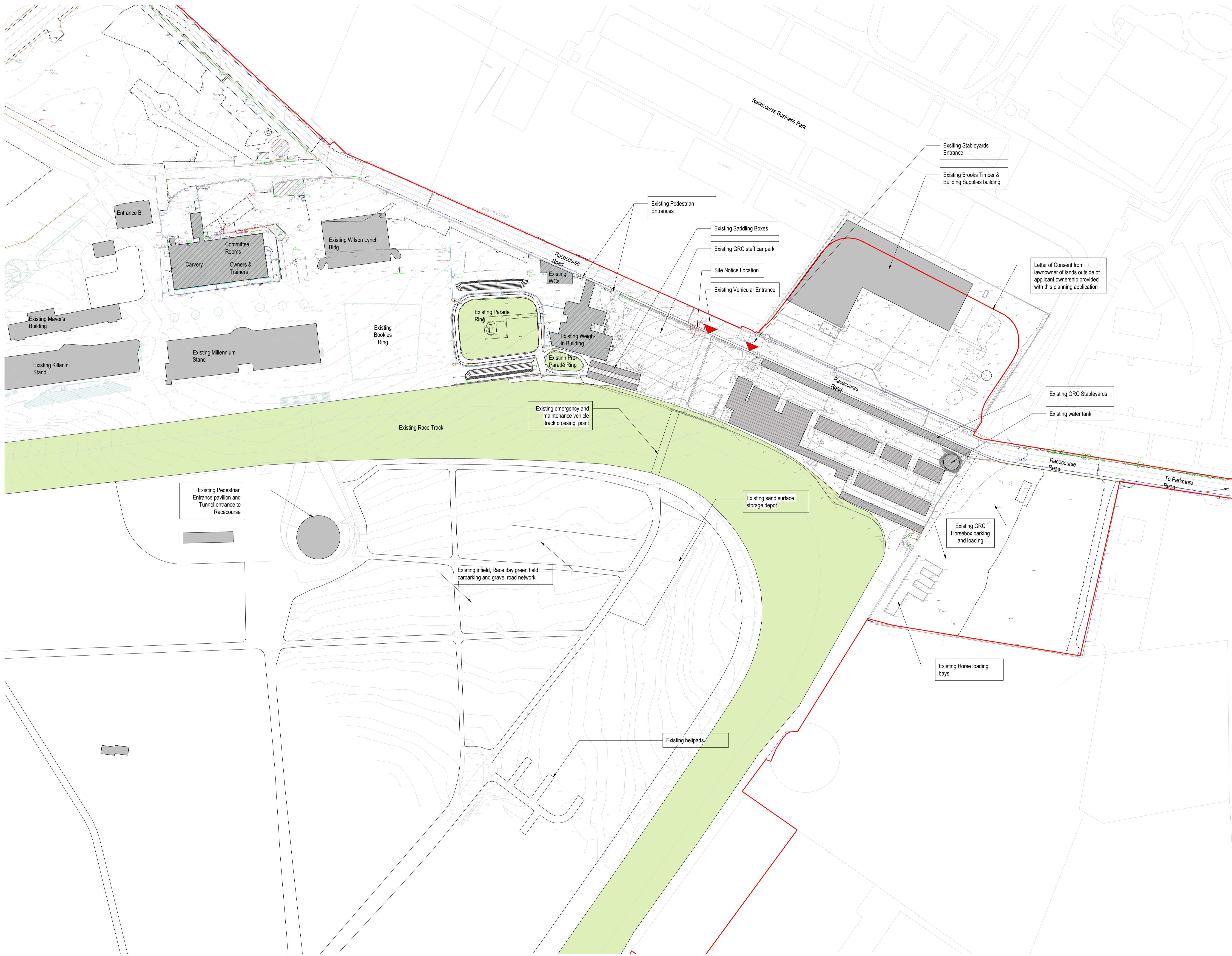
Title:  
Overall Site Location Plan

Drawing / Document Name:  
Project Originator Volume Level Type Rate Sheet Number  
**2833 GRS-COA-00-ZZ-DR-A-0501**

Suitability Status : Code - Description  
**S4 - For Stage Approval** Revision:  
**P- 4**

Scale @ A1 Drawn: Checked: Date:  
1 : 2000 Molly B Dowling Shane Meehan 10/18/23

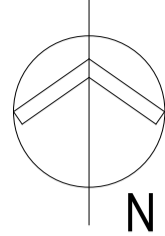
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**Legend**

- Proposed Development Boundary
- Site Notice Location
- Site Area: 61.06 Ha
- N6 GCRR Proposed Road Development Boundary.  
Planning Ref: ABP-316220-23 & ABP-318217-23

Revisions:

1	Site Phasing Plans Issue	2023-09-29	SM
2	Draft Planning Pack Issue	2023-10-13	SM
3	Draft Planning Pack Update	2024-01-12	SM
4	Issue to ARUP for Planning Application	2024-04-10	SM
5	Planning Application issue	2024-05-07	SM
6	Issue following ARUP Comments	2024-05-22	SM
Rev	Description	Date	By

Project:  
**Galway Racecourse, Stableyard**

Client:  
**Galway Racecourse**

Title:  
**Existing Site Plan - Overall**

Drawing / Document Name:  
Project Number Project Originator Volume Level Type Rate Sheet Number  
**2833 GRS-COA-00-ZZ-DR-A-0502**

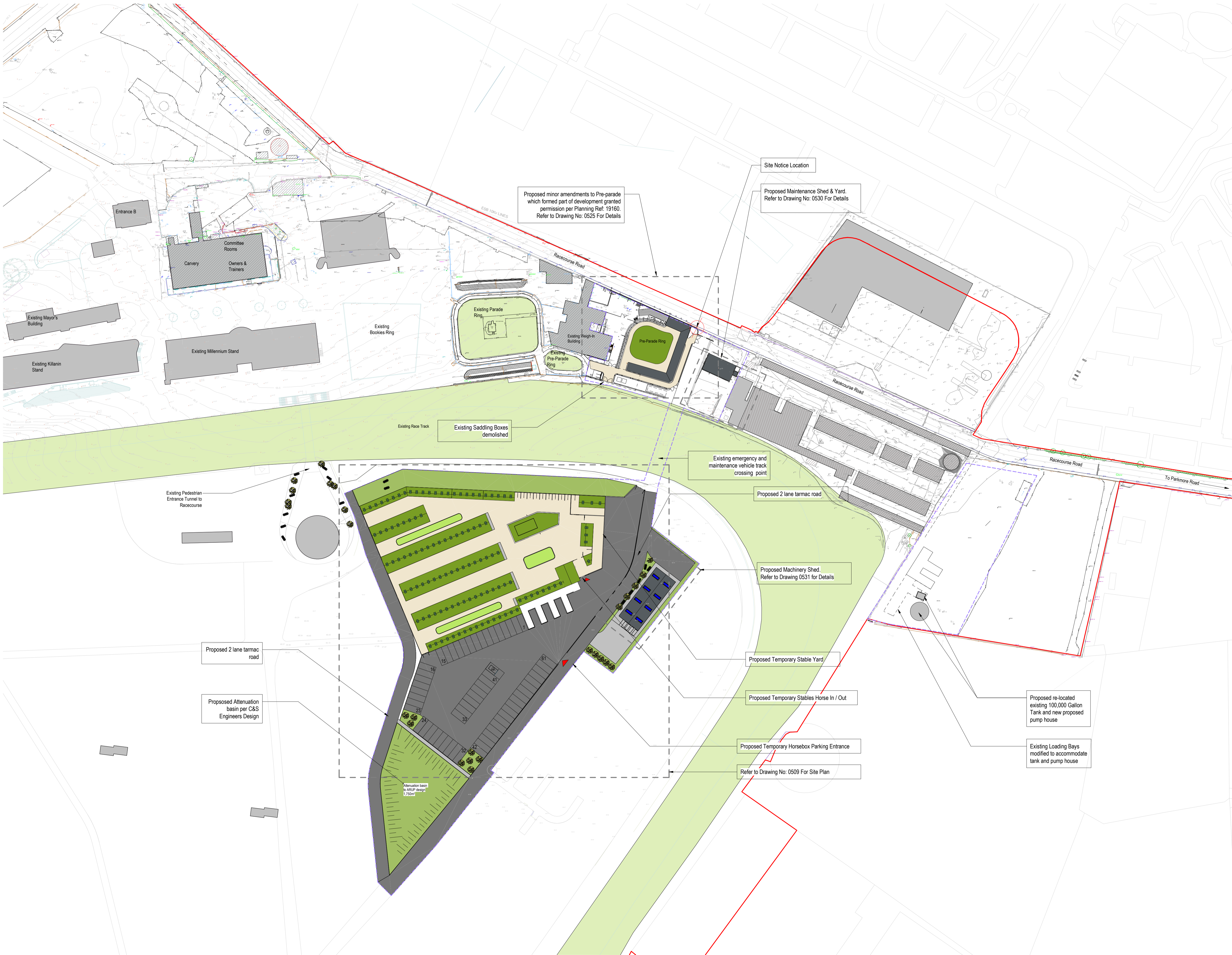
Suitability Status : Code - Description  
**S4 - For Stage Approval**

Revision:  
**P- 6**

Scale @ A1 Drawn: Checked: Date:  
1 : 1000 Shane Meehan John Hennigan 29-09-2023

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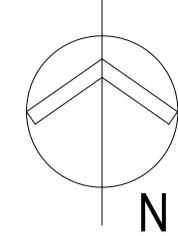


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**Legend**

- Proposed Development Boundary
- Site Notice Location
- Site Area: 61.06 Ha
- Phase Boundary
- N6 GCRR Proposed Road Development Boundary. Planning Ref: ABP-318220-23 & ABP-318217-23

Revisions:

1	Site Phasing Plans Issue	2023-09-29	SM
2	Draft Planning Pack Issue	2023-10-13	SM
3	Draft Planning Pack Update	2024-01-12	SM
4	Issue for Phasing Report	2024-03-13	SM
5	Issue to ARUP for Planning Application	2024-04-10	SM
6	Planning Application issue	2024-05-07	SM
7	Issue following ARUP Comments	2024-05-22	SM
Rev	Description	Date	By

Project:  
**Galway Racecourse, Stableyard**

Client:  
**Galway Racecourse**

Title:  
**Proposed Overall Site Layout\_PHASE 1-Temporary Stableyards & Pre-Parade Ring**

Drawing / Document Name:  
Project Originator Volume Level Type Rate Sheet Number  
**2833 GRS-COA-00-ZZ-DR-A-0503**

Suitability Status : Code - Description  
**S4 - For Stage Approval**

Revision:  
**P- 7**

Scale @ A1 Drawn: Checked: Date:  
1 : 1000 Shane Meehan John Hennigan 20-06-2023

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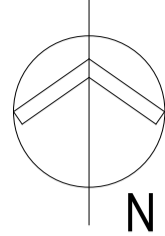


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Contractor Design Responsibility  
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**Legend**

- Proposed Development Boundary
- Site Notice Location
- Site Area: 61.06 Ha
- Phase Boundary
- N6 GCRR Proposed Road Development Boundary.  
Planning Ref: ABP-318220-23 & ABP-318217-23

Revisions:

1	Site Phasing Plans Issue	2023-09-29	SM
2	Draft Planning Pack Issue	2023-10-13	SM
3	Draft Planning Pack Update	2024-01-12	SM
4	Issue for Phasing Report	2024-03-13	SM
5	Issue to ARUP for Planning Application	2024-04-10	SM
6	Planning Application issue	2024-05-07	SM
7	Issue following ARUP Comments	2024-05-22	SM
Rev	Description	Date	By

Project:  
**Galway Racecourse, Stableyard**

Client:  
**Galway Racecourse**

Title:  
**Proposed Overall Site Layout\_PHASE 2\_Existing Stableyard Demolition**

Drawing / Document Name:  
Project Number Project Originator Volume Level Type Rate Sheet Number  
**2833 GRS-COA-00-ZZ-DR-A-0504**

Suitability Status : Code - Description  
**S4 - For Stage Approval**

Revision:  
**P- 7**

Scale @ A1 Drawn: Checked: Date:  
1 : 1000 Shane Meehan John Hennigan 27-09-2023

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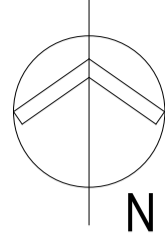
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**Legend**

- Proposed Development Boundary
- Site Notice Location
- Site Area: 61.06 Ha
- Phase Boundary
- N6 GORR Proposed Road Development Boundary  
Planning Ref: ABP-318220-23 & ABP-318217-23
- Exclusion / Buffer Zone over Proposed N6 Tunnel

Revisions:			
3	Draft Planning Pack Issue	2023-10-13	SM
4	Issue to Fire Consultant	2023-10-16	MBD
5	Issue to Fire Consultant	2023-10-27	SM
6	Client Issue	2023-12-20	SM
7	Draft Planning Pack Update	2024-01-12	SM
8	Issue to Fire Consultant	2024-01-31	MBD
9	Issue for Phasing Report	2024-03-13	SM
10	Issue to ARUP for Planning Application	2024-04-10	SM
11	Planning Application issue	2024-05-07	SM
12	Issue following ARUP Comments	2024-05-22	SM
Rev	Description	Date	By

Project:  
Galway Racecourse, Stableyard

Client:  
Galway Racecourse

Title:  
Proposed Overall Site Layout\_PHASE 3\_Permanent Stableyard

Drawing / Document Name:							
Project Number	Project	Originator	Volume	Level	Type	Rate	Sheet Number
2833	GRS-COA-00-ZZ-DR-A	0505					
Suitability Status : Code - Description							Revision:
S4 - For Stage Approval							P-12
Scale @ A1		Drawn:	Checked:	Date:			
1 : 1000		Shane Meehan	John Hennigan	27-09-2023			

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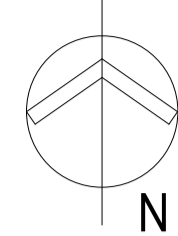


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**Legend**

- Proposed Development Boundary
- Site Notice Location
- Site Area: 61.06 Ha
- Phase Boundary
- N6 GORR Proposed Road Development Boundary  
Planning Ref: ABP-318220-23 & ABP-318217-23
- Exclusion / Buffer Zone over Proposed N6 Tunnel

Revisions:				
1	Site Phasing Plans Issue	2023-09-29	SM	
2	Draft Planning Pack Issue	2023-10-13	SM	
3	Draft Planning Pack Update	2024-01-12	SM	
4	Issue for Phasing Report	2024-03-13	SM	
5	Issue to ARUP for Planning Application	2024-04-10	SM	
6	Planning Application issue	2024-05-07	SM	
7	Issue following ARUP Comments	2024-05-22	SM	
Rev	Description	Date	By	

Project:  
Galway Racecourse, Stableyard

Client:  
Galway Racecourse

Title:  
Proposed Overall Site Layout\_PHASE 4\_Temporary Stableyard Demolition

Drawing / Document Name:  
Project Number Project Originator Volume Level Type Rate Sheet Number  
**2833 GRS-COA-00-ZZ-DR-A-0506**

Suitability Status : Code - Description  
**S4 - For Stage Approval** Revision: **P- 7**

Scale @ A1 Drawn: Checked: Date:  
1 : 1000 Shane Meehan John Hennigan 29-09-2023

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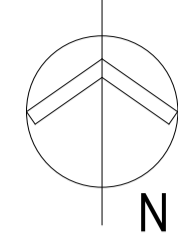


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**Legend**

- Proposed Development Boundary
- Site Notice Location
- Site Area: 5.23Ha
- Phase Boundary
- N6 GORR Proposed Road Development Boundary  
Planning Ref: ABP-318220-23 & ABP-318217-23
- Exclusion / Buffer Zone over Proposed N6 Tunnel

Revisions:			
1	Draft Planning Pack Issue	2023-10-13	SM
2	Issue for Comment	2023-11-01	MBD
3	Updated for Comment	2023-11-02	MBD
4	Draft Planning Pack Update	2024-01-12	SM
5	Updates to Site Plans	2024-02-12	MBD
6	Temp Parking Layout Update	2024-02-21	SM
7	Issue for Phasing Report	2024-03-13	SM
8	Issue to ARUP for Planning Application	2024-04-10	SM
9	Planning Application issue	2024-05-07	SM
10	Issue following ARUP Comments	2024-05-22	SM
Rev	Description	Date	By

Project:  
**Galway Racecourse, Stableyard**

Client:  
**Galway Racecourse**

Title:  
**Proposed Overall Site Layout\_PHASE 5\_Post Temporary Stableyard Demolition**

Drawing / Document Name:  
Project Number Project Originator Volume Level Type Rate Sheet Number  
**2833 GRS-COA-00-ZZ-DR-A-0507**

Suitability Status : Code - Description  
**S4 - For Stage Approval** Revision:  
**P-10**

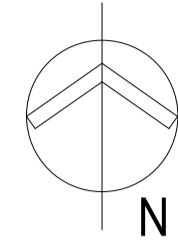
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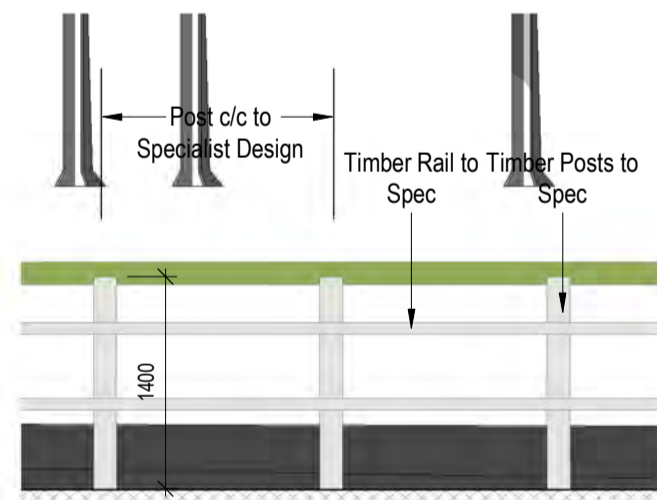


1 Temporary Stableyard-Proposed Site Layout Plan  
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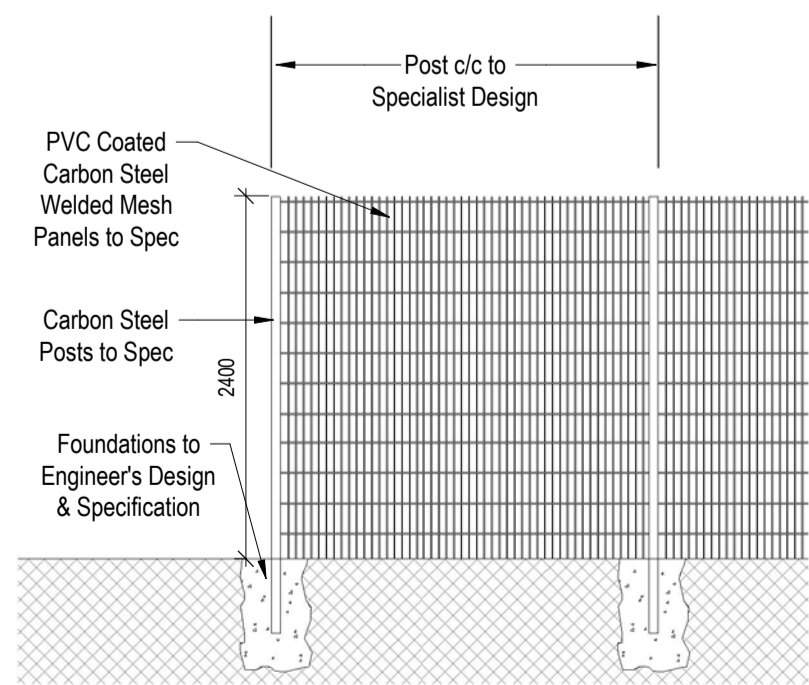
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Legend	
<b>Boundary</b>	
	Site Development Boundary
<b>Proposed Levels</b>	
	+0.00 m
FGL	Finished Ground Level
FFL	Finished Floor Level
FPL	Finished Parapet Level
FRL	Finished Ridge Level
<b>Proposed Surfaces</b>	
	150mm thick Concrete Apron to Engineer's Design and Specification
	Tar and Chip to Engineer's Design and Specification
	Gravel Surface to Engineer's Design and Specification
	Proposed Landscaped Areas to Landscape Specialist Design and Specification
	Existing Race Track
	Existing Grassland
<b>Boundary</b>	
	2.4m Metal Mesh Paladin Fence Surround to Attenuation Basin
	1.4m Timber Post and Rail Fence
<b>Notes:</b>	
Refer to ARUP Drainage Drawings for detail on below ground drainage and proposed finished external levels	
Refer to ARUP Lighting Drawing for proposed external lighting layouts	

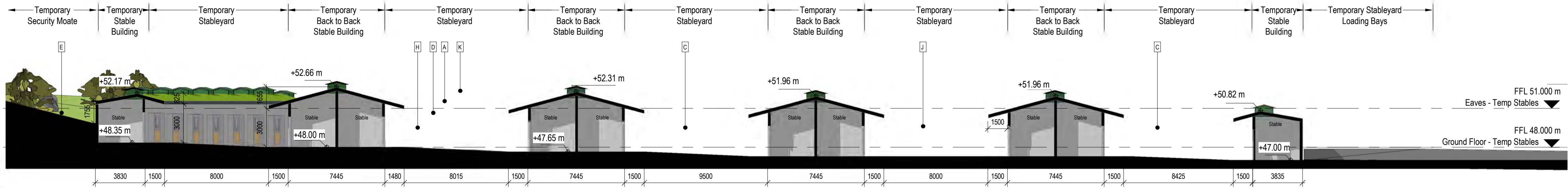


3 Temporary Stableyard - Timber Post and Rail Fence  
1:50

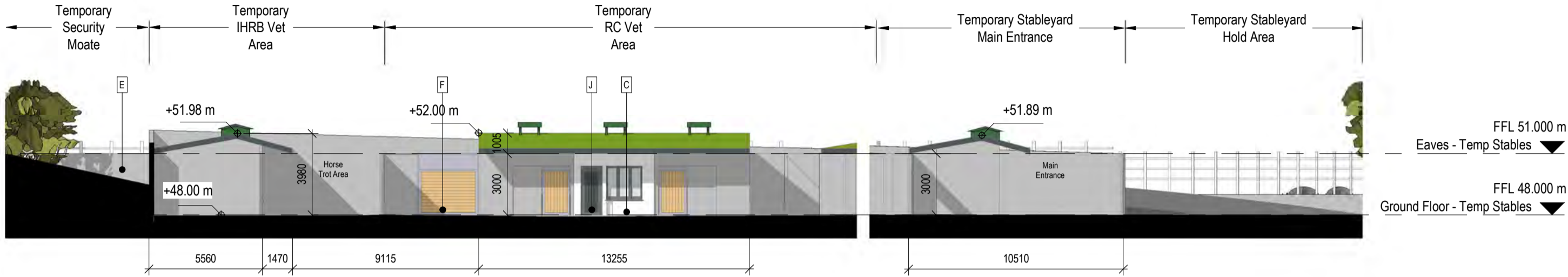


4 Temporary Stableyard - Metal Mesh Paladin Fence  
1:50

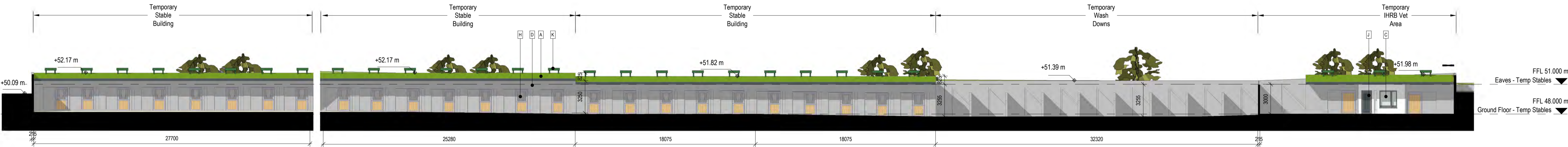
Revisions:			
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2	Issue to Fire Consultant	2023-10-16	MBD
3	Issue to Fire Consultant	2023-10-27	SM
4	Issue for Comment	2023-11-01	MBD
5	Updated for Comment	2023-11-02	MBD
6	Issue to Fire Consultant	2023-11-29	MBD
7	Draft Planning Pack Update	2024-01-12	SM
8	Issue to ARUP for Planning Application	2024-04-10	SM
9	Planning Application issue	2024-05-07	SM
Rev	Description	Date	By
Project: Galway Racecourse, Stableyard			
Client: Galway Racecourse			
Title: Temporary Stableyard - Proposed Site Layout			
Drawing / Document Name: Project Number Project Originator Volume Level Type Rate Sheet Number 2833 GRS-COA-01-ZZ-DR-A-0509			
Suitability Status : Code - Description S4 - For Stage Approval			Revision: P- 9
Scale @ A1 Drawn: Checked: Date: As indicated Shane Meehan John Hennigan 20-06-2023			
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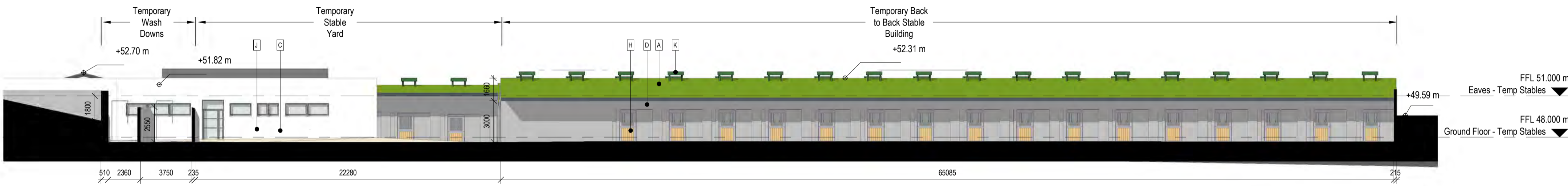
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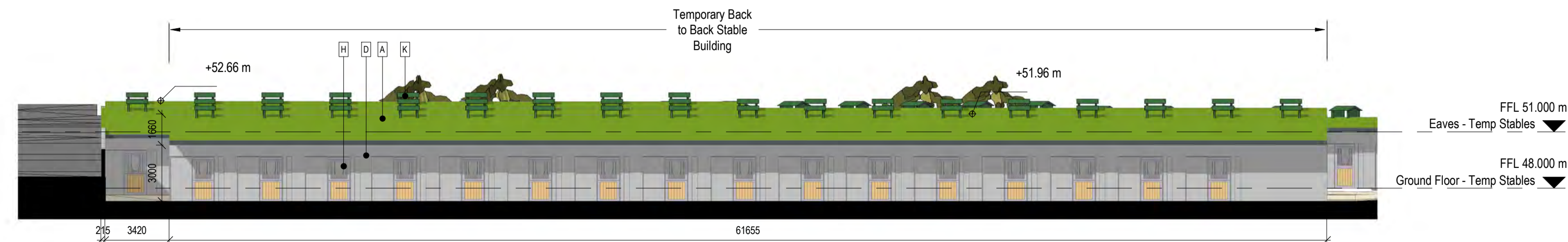
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1 : 200



4 Temporary Stableyard-Site Section C C  
1 : 200

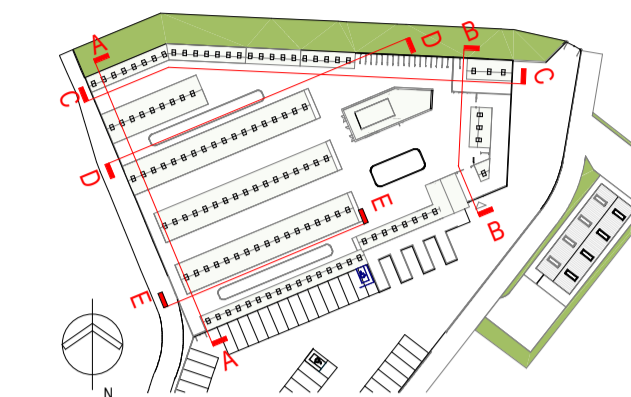


6 Temporary Stableyard-Site Section D D  
1 : 200



7 Temporary Stableyard-Site Section E E  
1 : 200

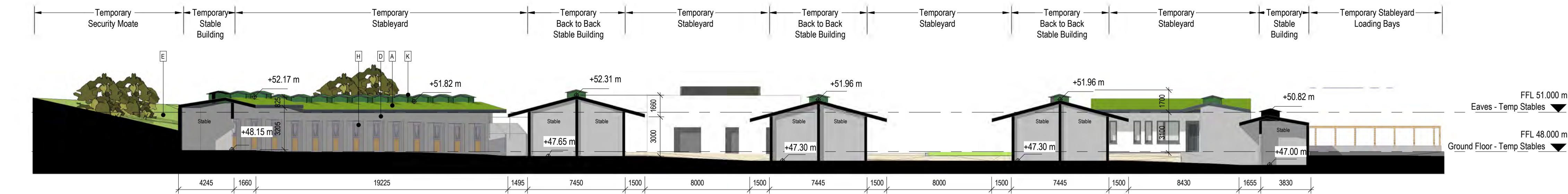
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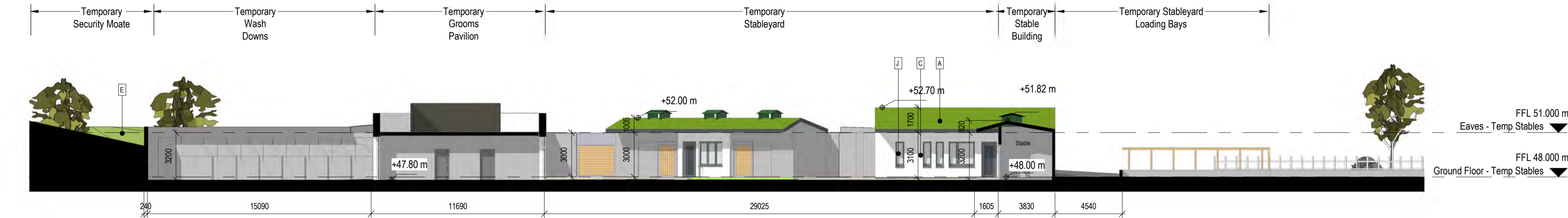
Key Plan-Temporary-Sections 1

Revisions:					
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2	Issue to Fire Consultant	2023-11-29	MBD		
3	Updates for M&E Comments	2023-12-05	MBD		
4	Draft Planning Pack Update	2024-01-12	SM		
5	Issue to ARUP for Planning Application	2024-04-10	SM		
6	Planning Application Issue	2024-05-07	SM		
Rev	Description	Date	By		
Project: Galway Racecourse, Stableyard					
Client: Galway Racecourse					
Title: Temporary Stableyard - Proposed Site Sections 1					
Drawing / Document Name: Project Originator Volume Level Type Rate Sheet Number 2833 GRS-COA-01-ZZ-DR-A-0510					
Suitability Status : Code - Description S4 - For Stage Approval				Revision: P- 6	
Scale @ A1 Drawn:		Checked:		Date:	
As indicated Shane Meehan		John Hennigan		20-06-2023	
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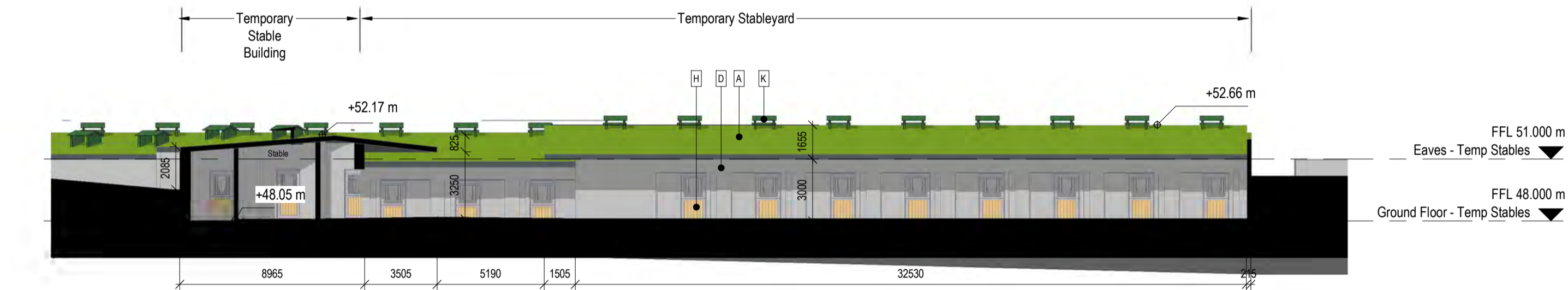
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A - Extensive Green Roof Build-Up
B - Smooth Finish Concrete Banding - 150mm deep
C - Rendered Blockwork Finish - Max. coursing 150mm deep
D - Smooth Finish Precast Concrete
E - Landscaping Zone - Refer to Landscape Plans and Specification
F - Galvanised Steel/Timber Gates
G - Feature Rainwater Outlets
H - Galvanised Steel/Recycled Plastic Sliding Stable Doors
J - Thermally Broken Aluminium Doors & Windows
K - Profiled Metal Ventilation Outlets
L - Timber Post and Rail Fencing



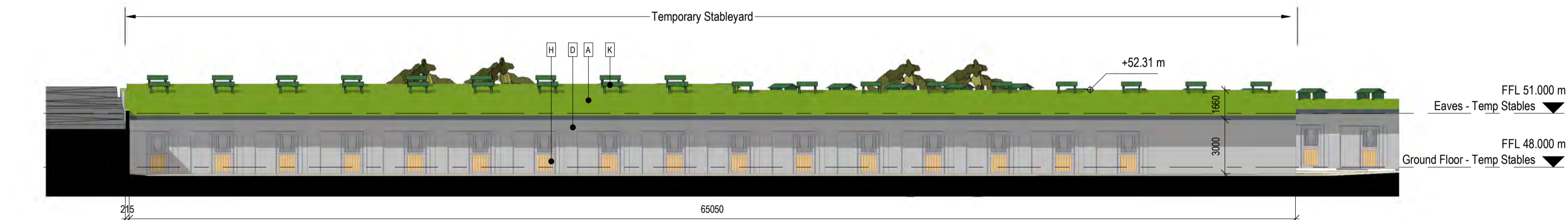
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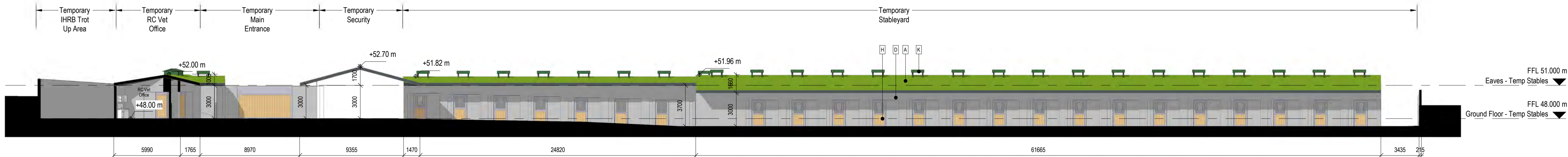
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3 Temporary Stableyard-Site Section H H  
1 : 200

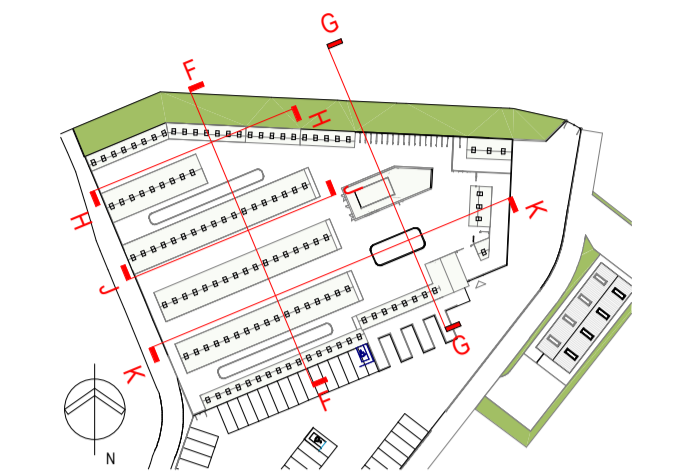


4 Temporary Stableyard-Site Section J J  
1 : 200



5 Temporary Stableyard-Site Section K-K  
1 : 200

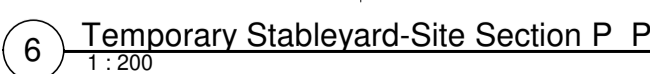
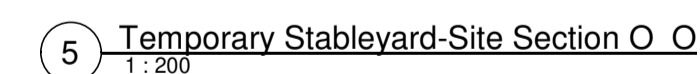
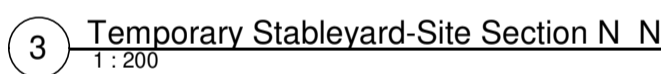
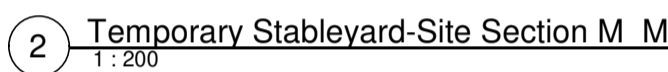
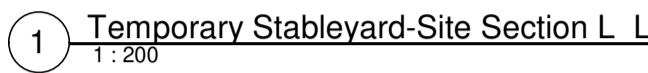
Notes:  
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Key Plan-Temporary-Sections 2

Materials
A - Extensive Green Roof Build-Up
B - Smooth Finish Concrete Banding - 150mm deep
C - Rendered Blockwork Finish - Max. coursing 150mm deep
D - Smooth Finish Precast Concrete
E - Landscaping Zone - Refer to Landscape Plans and Specification
F - Galvanised Steel/Timber Gates
G - Feature Rainwater Outlets
H - Galvanised Steel/Recycled Plastic Sliding Stable Doors
J - Thermally Broken Aluminium Doors & Windows
K - Profiled Metal Ventilation Outlets
L - Timber Post and Rail Fencing

Revisions:					
1	Draft Planning Pack Issue	2023-10-13	SM		
2	Issue to Fire Consultant	2023-11-29	MBD		
3	Updates for M&E Comments	2023-12-05	MBD		
4	Draft Planning Pack Update	2024-01-12	SM		
5	Issue to ARUP for Planning Application	2024-04-10	SM		
6	Planning Application Issue	2024-05-07	SM		
Rev	Description	Date	By		
Project: Galway Racecourse, Stableyard					
Client: Galway Racecourse					
Title: Temporary Stableyard - Proposed Site Sections 2					
Drawing / Document Name: Project Originator Volume Level Type Rate Sheet Number <b>2833 GRS-COA-01-ZZ-DR-A-0511</b>					
Suitability Status : Code - Description <b>S4 - For Stage Approval</b>				Revision: <b>P- 6</b>	
Scale @ A1 Drawn:		Checked:		Date:	
As indicated Shane Meehan		John Hennigan		20-06-2023	
<div>COADY ARCHITECTS</div> <div>Mt Pleasant Business Ctr, Ranelagh, Dublin 6, D06 XTP8 Unit 8A Oran Point, Main St, Oranmore, Co. Galway 01 497 6766   091 786 325   admin@coady.ie   www.coady.ie</div>					



4 Key Plan-Temporary-Sections 3  
1 : 2500

Materials
A - Extensive Green Roof Build-Up
B - Smooth Finish Concrete Banding - 150mm deep
C - Rendered Blockwork Finish - Max. coursing 150mm deep
D - Smooth Finish Precast Concrete
E - Landscaping Zone - Refer to Landscape Plans and Specification
F - Galvanised Steel/Timber Gates
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L - Timber Post and Rail Fencing

Rev	Description	Date	By
1	Draft Planning Pack Issue	2023-10-13	SM
2	Issue to Fire Consultant	2023-11-29	MBD
3	Updates for M&E Comments	2023-12-05	MBD
4	Draft Planning Pack Update	2024-01-12	SM
5	Issue to ARUP for Planning Application	2024-04-10	SM
6	Planning Application issue	2024-05-07	SM

Project:  
Galway Racecourse, Stableyard

Client:  
**Galway Racecourse**

Title:  
Temporary Stableyard - Proposed Site  
Sections 3

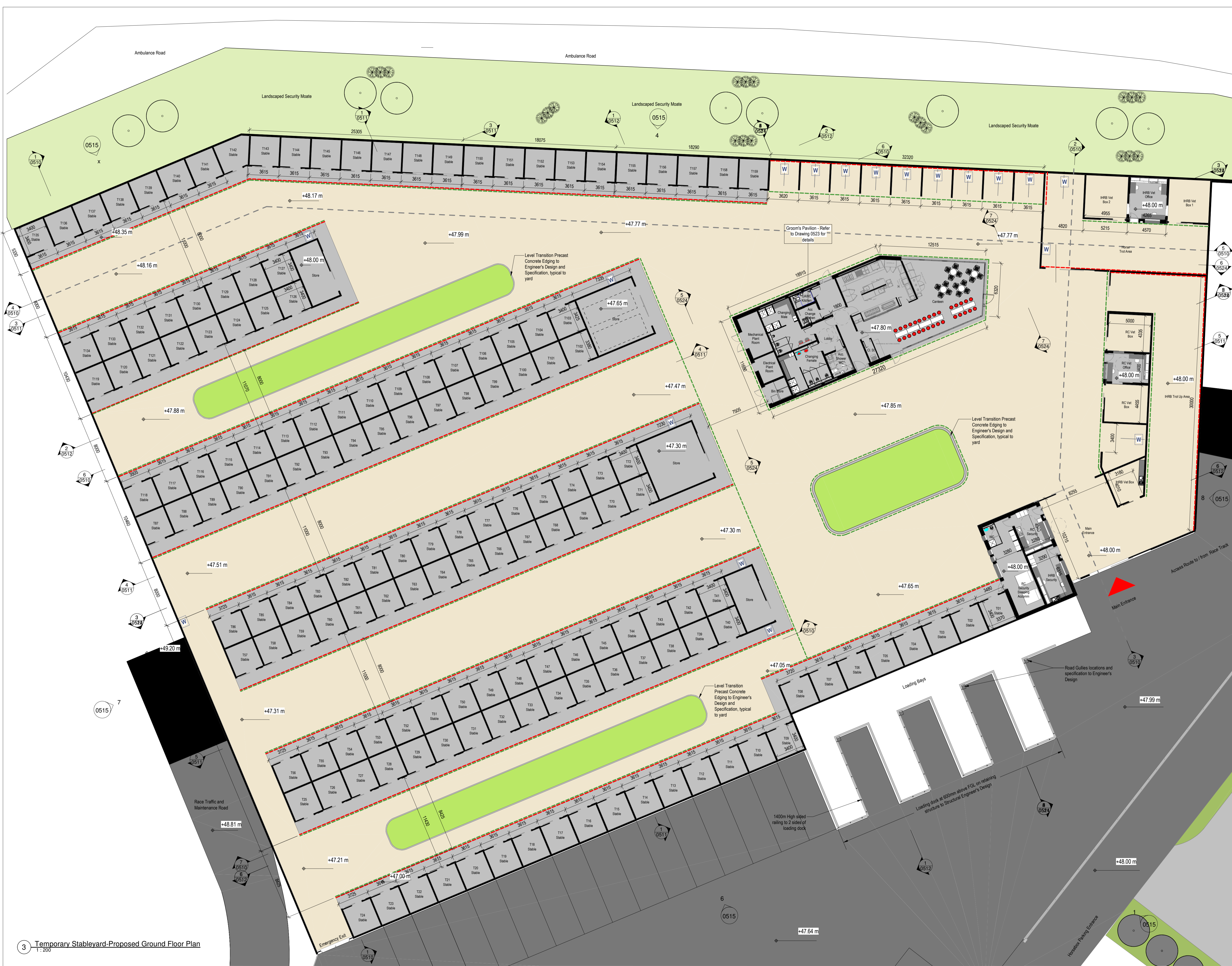
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Project Number	Project	Originator	Volume	Level	Type	Sheet Number
<b>2833</b>	GRS-COA-01-ZZ-DR-					<b>0512</b>

Suitability Status : Code - Description

Scale @ A1	Drawn:	Checked:	Date:
As indicated	Author	Checker	09/19/23

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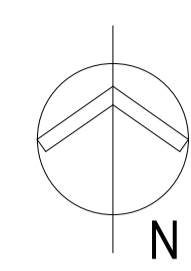


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**Legend**

**Boundary**

- Site Development Boundary

**Proposed Levels**

- +0.00 m
- FGL Finished Ground Level
- FFL Finished Floor Level
- FPL Finished Parapet Level
- FRL Finished Ridge Level

**Proposed Surfaces**

- 150mm thick Concrete Apron to Engineer's Design and Specification
- Tar and Chip to Engineer's Design and Specification
- Gravel Surface to Engineer's Design and Specification
- Grassed Area to Landscape Specialist Design and Specification

**Proposed Foul Water Drainage**

- Aco channel

**Proposed Surface Water Drainage**

- Aco channel

**Proposed Water Services**

- Water point

**Notes:**

Refer to ARUP Drainage Drawings for detail on below ground drainage and proposed finished external levels

Refer to ARUP Lighting Drawing for proposed external lighting layouts

Revisions:		
2	Client Issue for IHRB Meeting-Update	2023-10-03 SM
3	Draft Planning Pack Issue	2023-10-13 SM
4	Issue to Fire Consultant	2023-10-16 MBD
5	Issue to Fire Consultant	2023-10-27 SM
6	Issue to Fire Consultant	2023-11-29 MBD
7	Updates for M&E Comments	2023-12-05 MBD
8	Client Issue	2023-12-20 SM
9	Draft Planning Pack Update	2024-01-12 SM
10	Issue to ARUP for Planning Application	2024-04-10 SM
11	Planning Application Issue	2024-05-07 SM
Rev	Description	Date By

Project:  
**Galway Racecourse, Stableyard**

Client:  
**Galway Racecourse**

Title:  
**Temporary Stableyard - Proposed Ground Floor Plan**

Drawing / Document Name:  
Project Number Project Originator Volume Level Type Rate Sheet Number  
**2833 GRS-COA-01-00-DR-A-0513**

Suitability Status : Code - Description  
**S4 - For Stage Approval**

Revision:  
**P-11**

Scale @ A1 Drawn: Checked: Date:  
1 : 200 Molly B Dowling Shane Meehan 20-06-2023

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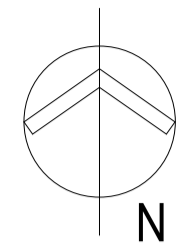
3 Temporary Stableyard-Proposed Ground Floor Plan  
1:200

Notes:

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**Legend**

**Boundary**

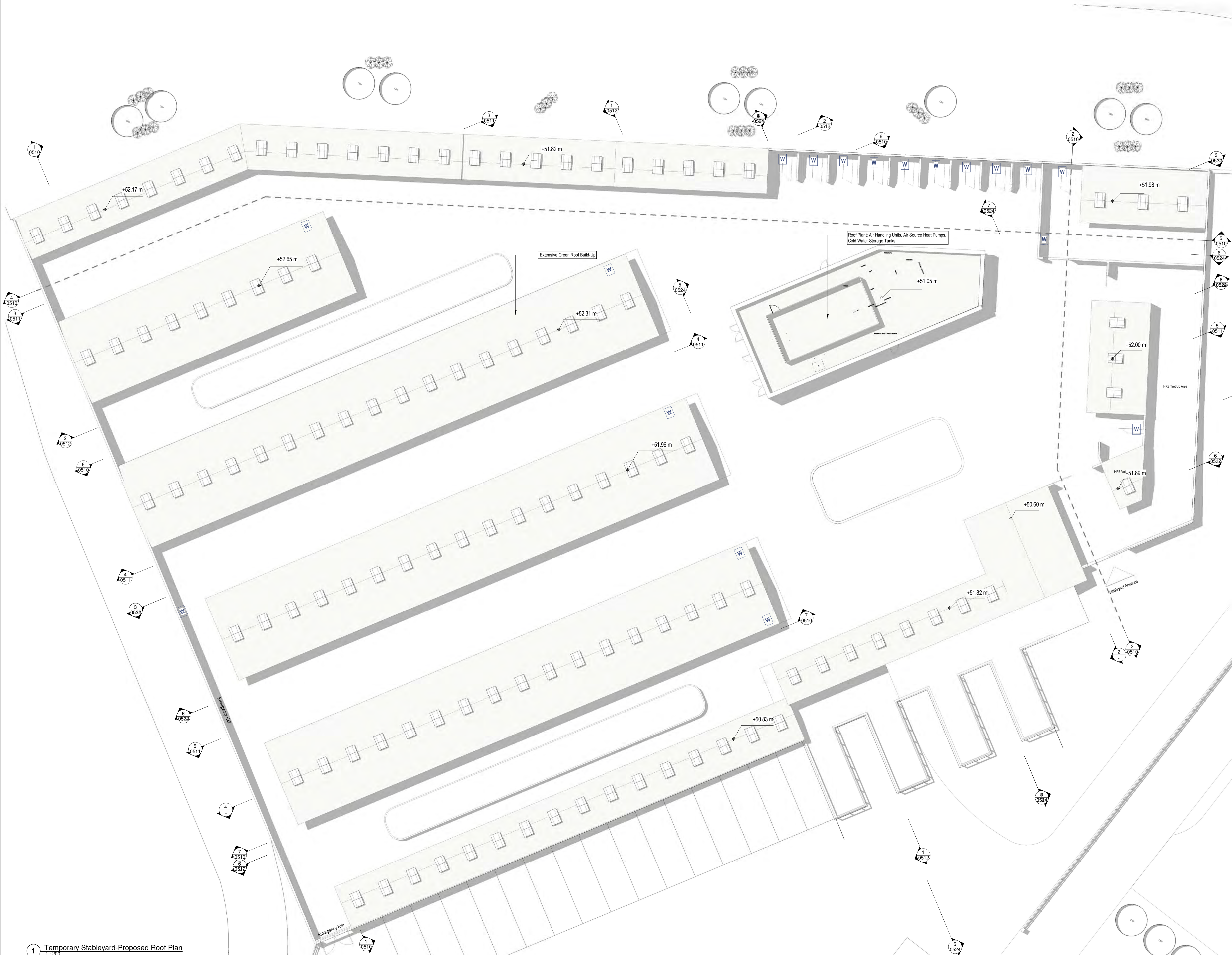
- Site Development Boundary
- Exclusion / Buffer Zone over Proposed N6 Tunnel

**Proposed Levels**

- FGL Finished Ground Level
- FFL Finished Floor Level
- FPL Finished Parapet Level
- FRL Finished Ridge Level

**Notes:**

- Refer to ARUP Drainage Drawings for detail on below ground drainage and proposed finished external levels
- Refer to ARUP Lighting Drawing for proposed external lighting layouts



1 Temporary Stableyard-Proposed Roof Plan  
1:200

Revisions:

1	Draft Planning Pack Issue	2023-10-13	SM
2	Issue to Fire Consultant	2023-10-27	SM
3	Updates for M&E Comments	2023-12-05	MBD
4	Draft Planning Pack Update	2024-01-12	SM
5	Issue to ARUP for Planning Application	2024-04-10	SM
6	Planning Application Issue	2024-05-07	SM
Rev	Description	Date	By

Project:  
**Galway Racecourse, Stableyard**

Client:  
**Galway Racecourse**

Title:  
**Temporary Stableyard - Proposed Roof Plan**

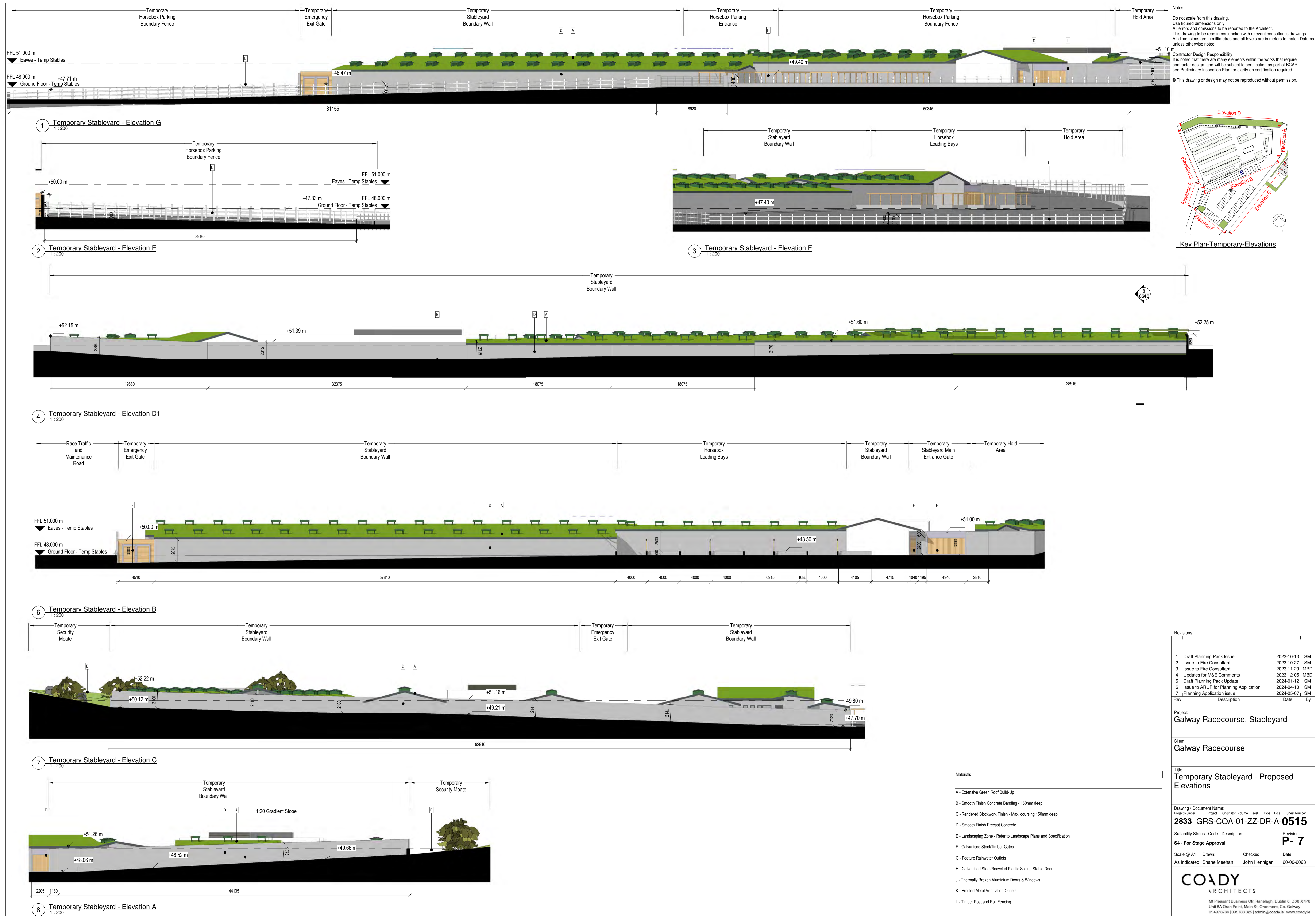
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Project Number Project Originator Volume Level Type Rate Sheet Number  
**2833 GRS-COA-01-RF-DR-A-0514**

Suitability Status : Code - Description Revision:  
**S4 - For Stage Approval P- 6**

Scale @ A1 Drawn: Checked: Date:  
1 : 200 Molly B Dowling Shane Meehan 09/19/23

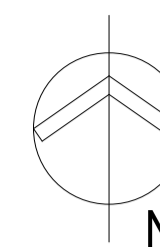
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1 Proposed-Site Layout Plan  
1 : 500

## Boundary

-  Proposed Site Development Boundary  
 Site Notice Location  
 N6 GCRR Proposed Road Development Boundary  
 Exclusion / Buffer Zone over Proposed N6 Tunnel  
 +0.00 m **Proposed Levels**  
 FGL Finished Ground Level  
 FFL Finished Floor Level  
 FPL Finished Parapet Level  
 FRL Finished Ridge Level

-  Wet Pour Rubberoid Surfaces to Specialist Design laid on Macadam base to Engineer's Design and Specification
-  Macadam Surface to Engineer's Design and Specification
-  Grassed Area to Landscape Specialist Design and Specification
-  Landscaped/Planted Area to Landscape Specialist Design and Specification
-  Grasscrete Surface laid on build up to Engineers Design

Refer to ARUP Drainage Drawings for detail on below ground drainage and proposed finished external levels

Refer to ARUP Lighting Drawing for proposed external lighting layouts

1	Draft Planning Pack Issue	2023-10-13	SM
2	Issue to Fire Consultant	2023-10-16	MBD
3	Issue to Fire Consultant	2023-10-27	SM
4	Issue to Fire Consultant	2023-11-29	MBD
5	Draft Planning Pack Update	2024-01-12	SM
6	Updates to Site Plans	2024-02-12	MBD
7	Issue to ARUP for Planning Application	2024-04-10	SM
8	Planning Application issue	2024-05-07	SM
Rev	Description	Date	By

Project: Galway Racecourse, Stableyard

Client:  
**Galway Racecourse**

Title:  
Permanent Stableyard - Proposed Site  
Layout

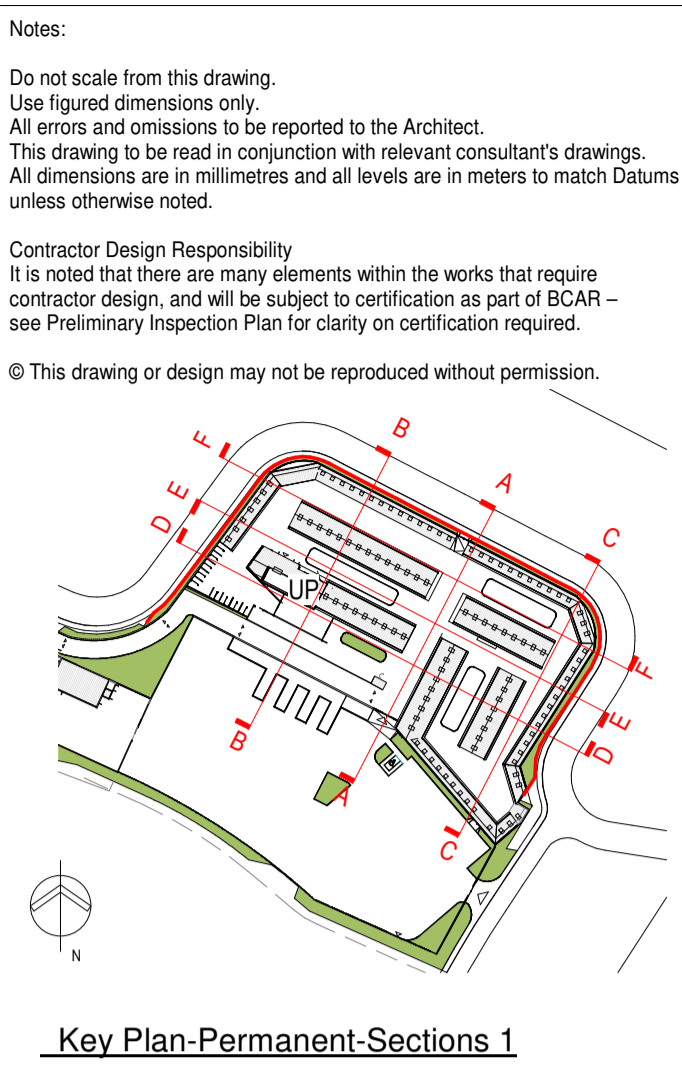
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**2833**   **GRS-COA-02-ZZ-DR-A-0516**

S4 - For Stage Approval

Scale @ A1	Drawn:	Checked:	Date:
As indicated	Shane Meehan	John Hennigan	20-06-202

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Materials	
A -	Profiled Metal Roof
B -	Smooth Finish Concrete Banding - 150mm deep
C -	Dry Stone Walling - Max. coursing 150mm deep, Pale coloured Sandstone
D -	Living Wall /Trellis Screening - Refer to Landscape Plans and Specification
E -	Smooth Finish Precast Concrete
F -	Landscaping Zone - Refer to Landscape Plans and Specification
G -	Galvanised Steel/Timber Gates
H -	Feature Rainwater Outlets
J -	Galvanised Steel/Recycled Plastic Sliding Stable Doors
K -	Thermally Broken Aluminium Doors & Windows
L -	Profiled Metal Ventilation Outlets

Revisions:			
1	Draft Planning Pack Issue	2023-10-13	SM
2	Issue to Fire Consultant	2023-11-29	MBD
3	Updates for M&E Comments	2023-12-05	MBD
4	Draft Planning Pack Update	2024-01-12	SM
5	Updates to Site Plans	2024-02-12	MBD
6	Issue to ARUP for Planning Application	2024-04-10	SM
7	Planning Application Issue	2024-05-07	SM
Rev	Description	Date	By
Project: Galway Racecourse, Stableyard			
Client: Galway Racecourse			
Title: Permanent Stableyard - Proposed Site Sections 1			
Drawing / Document Name: Project Originator Volume Level Type Rate Sheet Number <b>2833 GRS-COA-02-ZZ-DR-A-0517</b>			
Suitability Status : Code - Description <b>S4 - For Stage Approval</b>			Revision: <b>P- 7</b>
Scale @ A1 Drawn: Shane Meehan		Checked: John Hennigan	Date: 20-06-2023
As indicated			

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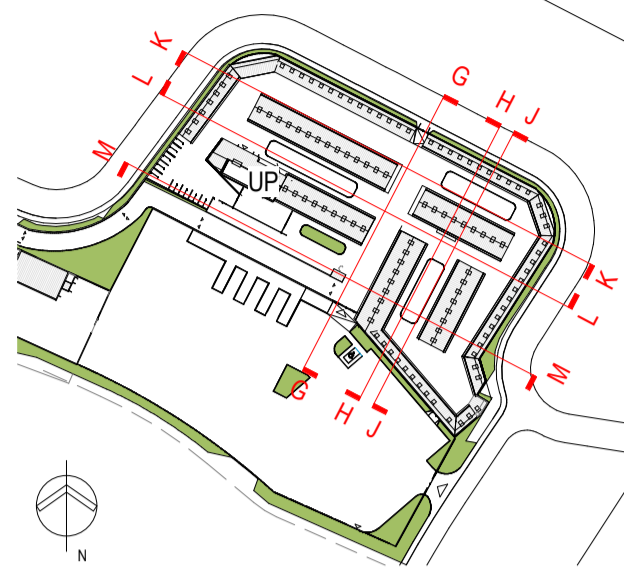
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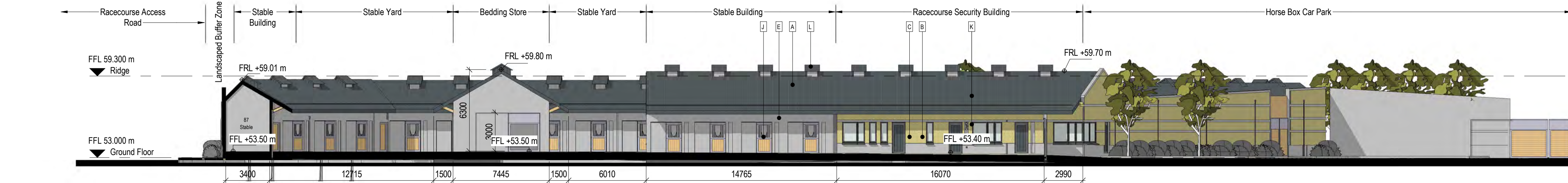
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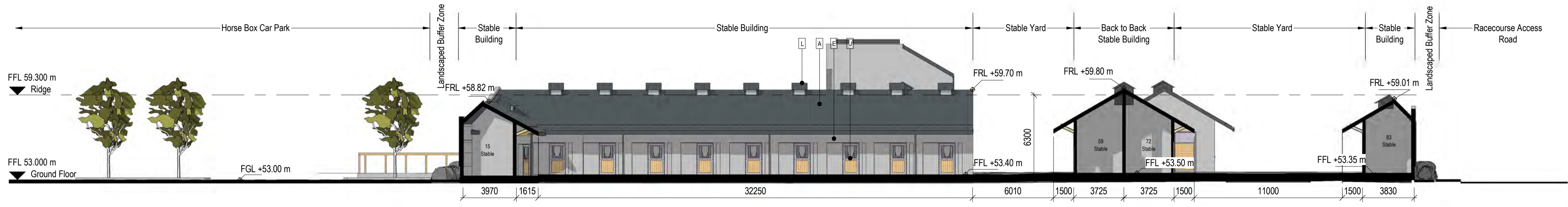


Key Plan-Permanent-Sections 2

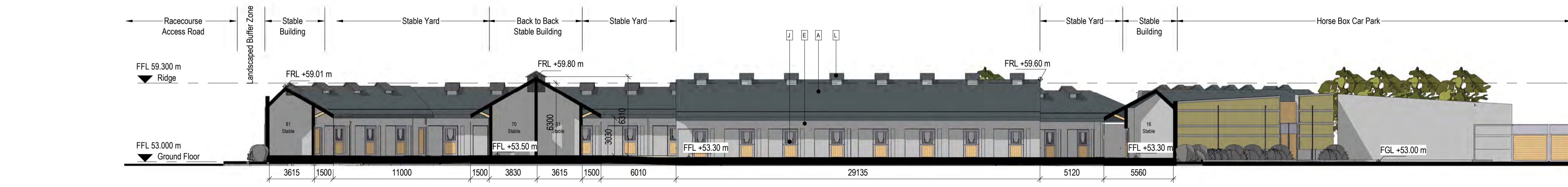
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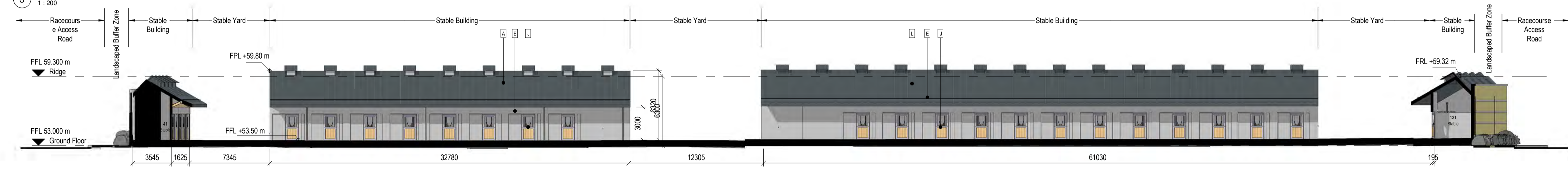
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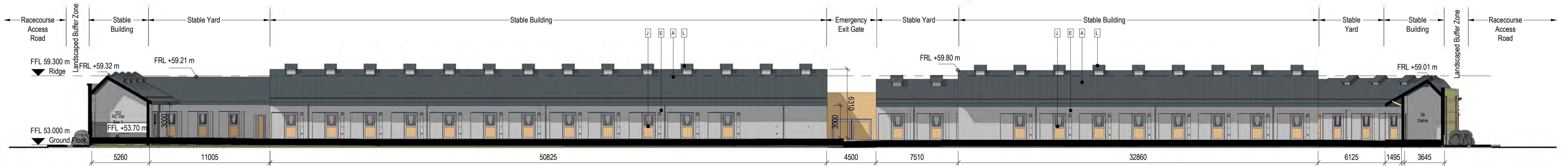
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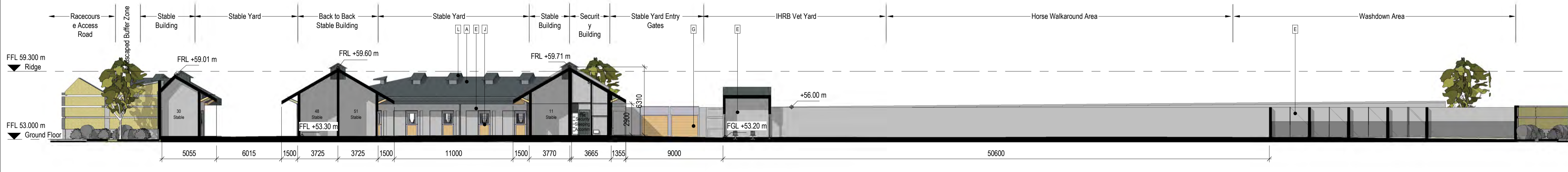
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5 Site Section L L  
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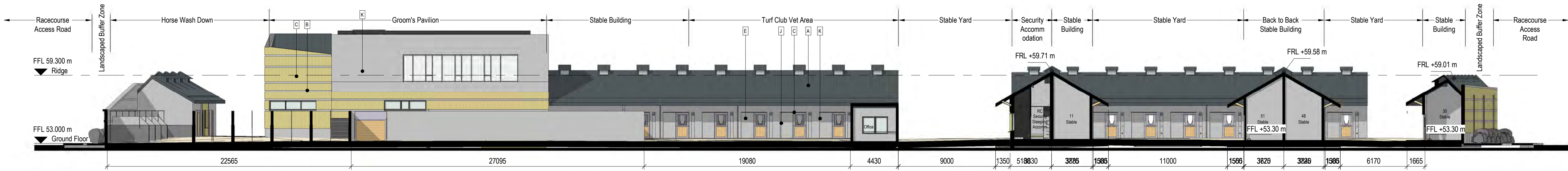


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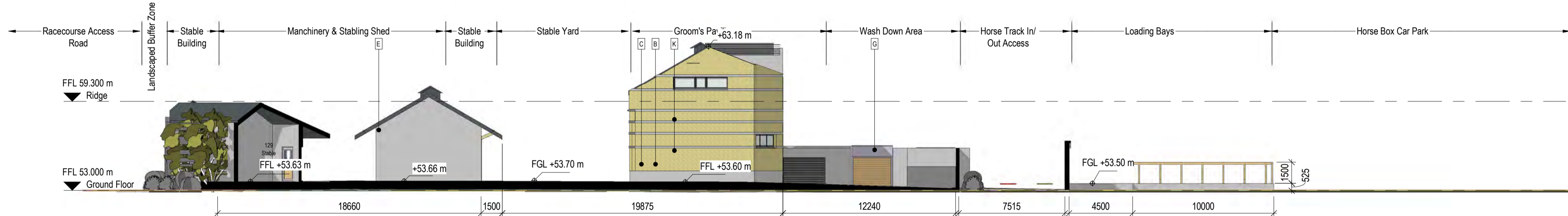


Materials	
A -	Profiled Metal Roof
B -	Smooth Finish Concrete Banding - 150mm deep
C -	Dry Stone Walling - Max. coursing 150mm deep, Pale coloured Sandstone
D -	Living Wall / Trellis Screening - Refer to Landscape Plans and Specification
E -	Smooth Finish Precast Concrete
F -	Landscaping Zone - Refer to Landscape Plans and Specification
G -	Galvanised Steel/Timber Gates
H -	Feature Rainwater Outlets
J -	Galvanised Steel/Recycled Plastic Sliding Stable Doors
K -	Thermally Broken Aluminium Doors & Windows
L -	Profiled Metal Ventilation Outlets

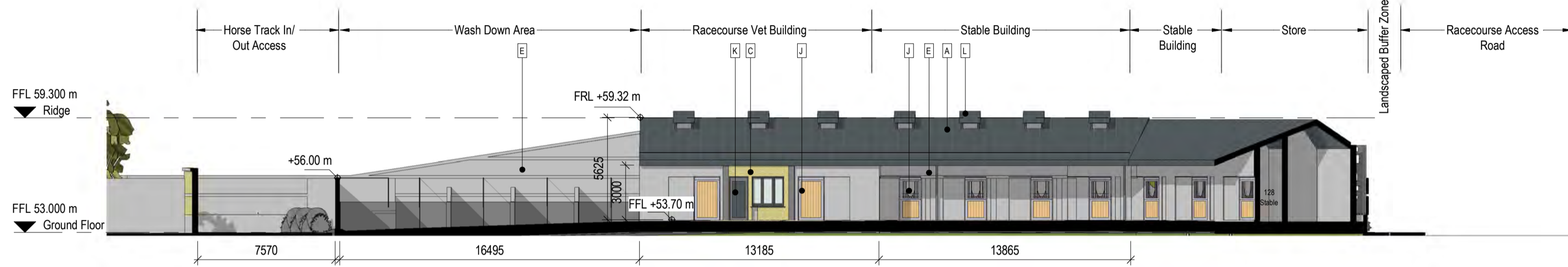
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4	Draft Planning Pack Update	2024-01-12	SM
5	Issue to ARUP for Planning Application	2024-04-10	SM
6	Planning Application Issue	2024-05-07	SM
Rev	Description	Date	By
Project: Galway Racecourse, Stableyard			
Client: Galway Racecourse			
Title: Permanent Stableyard - Proposed Site Sections 2			
Drawing / Document Name: Project Number      Project      Originator      Volume      Level      Type      Role      Sheet Number <b>2833</b> GRS-COA-02-ZZ-DR-A <b>0518</b>			
Suitability Status : Code - Description <b>S4 - For Stage Approval</b>			Revision: <b>P- 6</b>
Scale @ A1    Drawn:		Checked:	Date:
As indicated    Shane Meehan		John Hennigan	20-06-2023
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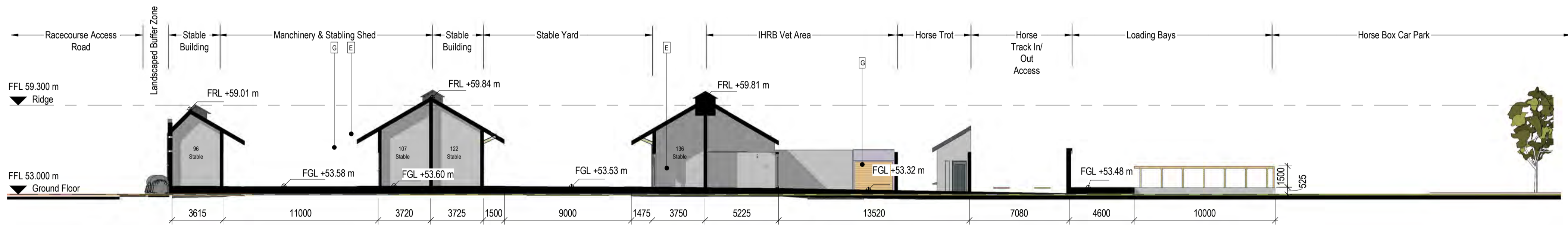
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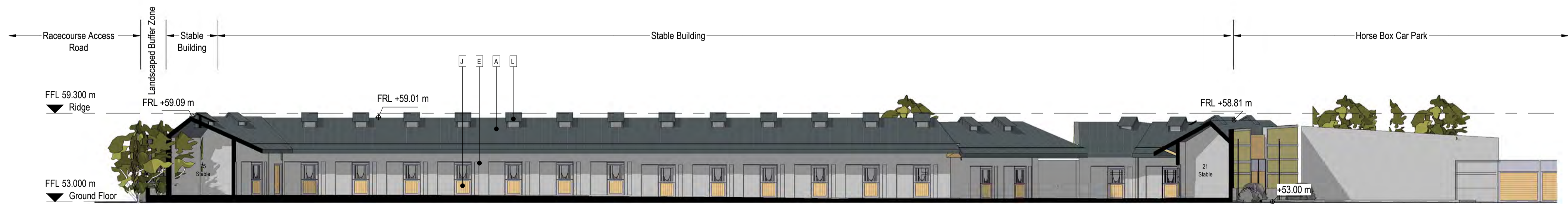
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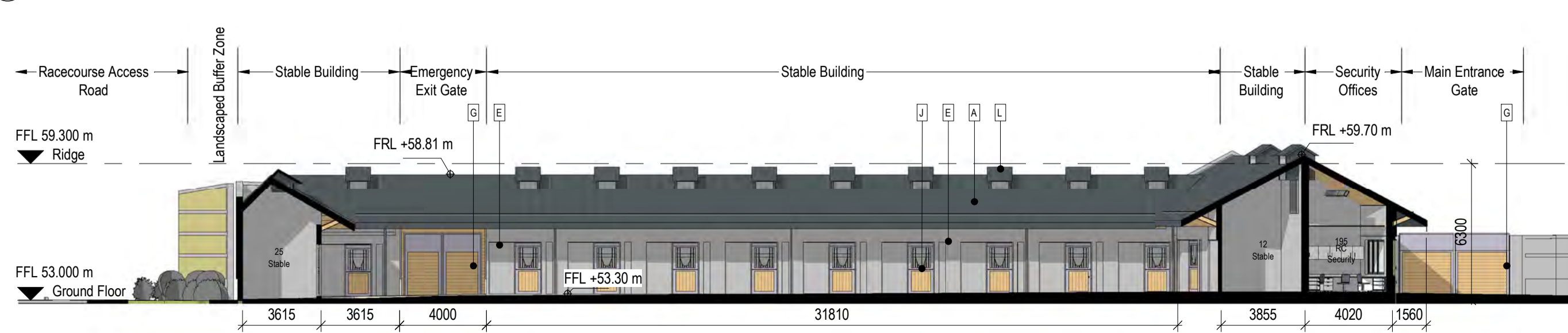
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4 Site Section Q-Q  
1:200

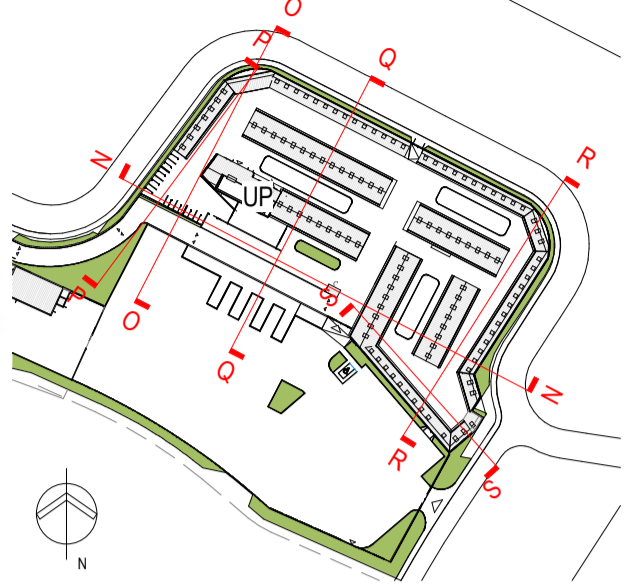


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6 Site Section S-S  
1:200

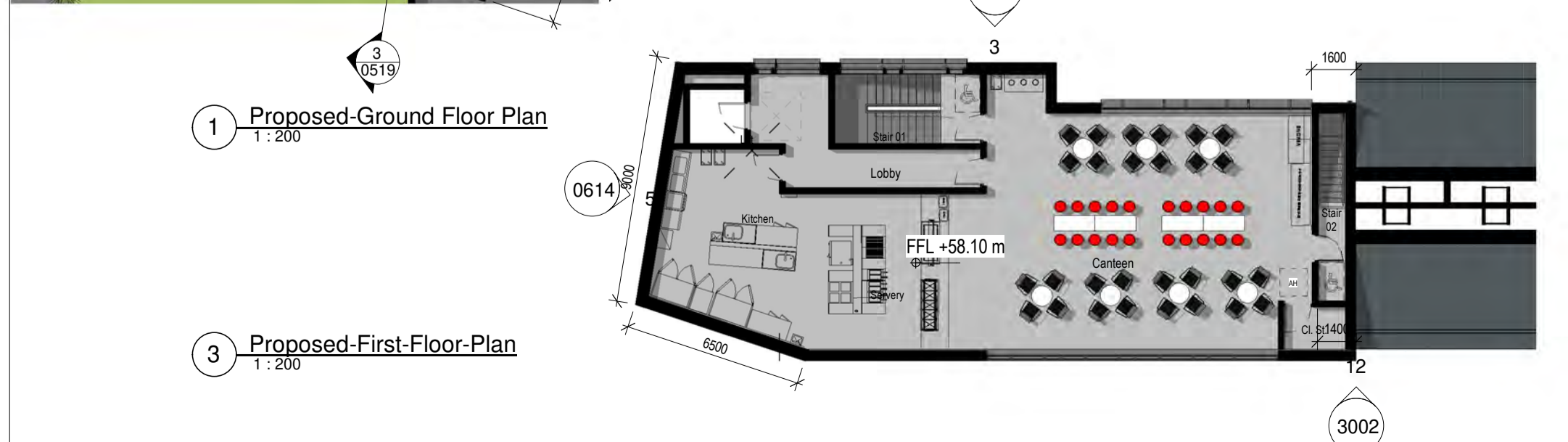
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Key Plan-Permanent-Sections 3

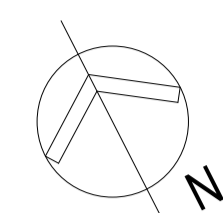
Materials	
A -	Profiled Metal Roof
B -	Smooth Finish Concrete Banding - 150mm deep
C -	Dry Stone Walling - Max. coursing 150mm deep, Pale coloured Sandstone
D -	Living Wall /Treillis Screening - Refer to Landscape Plans and Specification
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F -	Landscaping Zone - Refer to Landscape Plans and Specification
G -	Galvanised Steel/Timber Gates
H -	Feature Rainwater Outlets
J -	Galvanised Steel/Recycled Plastic Sliding Stable Doors
K -	Thermally Broken Aluminium Doors & Windows
L -	Profiled Metal Ventilation Outlets

Revisions:			
1	Draft Planning Pack Issue	2023-10-13	SM
2	Issue to Fire Consultant	2023-11-29	MBD
3	Updates for M&E Comments	2023-12-05	MBD
4	Draft Planning Pack Update	2024-01-12	SM
5	Issue to ARUP for Planning Application	2024-04-10	SM
6	Planning Application Issue	2024-05-07	SM
Rev	Description	Date	By
Project: Galway Racecourse, Stableyard			
Client: Galway Racecourse			
Title: Permanent Stableyard - Proposed Site Sections 3			
Drawing / Document Name: Project Number    Project    Originator    Volume    Level    Type    Rate    Sheet Number <b>2833    GRS-COA-02-ZZ-DR-A-0519</b>			
Suitability Status : Code - Description <b>S4 - For Stage Approval</b>			Revision: <b>P- 6</b>
Scale @ A1	Drawn:	Checked:	Date:
As indicated	Shane Meehan	John Hennigan	20-06-2023
<div>COADY ARCHITECTS</div> <div>Mt Pleasant Business Ctr, Ranelagh, Dublin 6, D06 XTP8 Unit 8A Oran Point, Main St, Oranmore, Co. Galway 01 497 9766   091 786 325   admin@coady.ie   www.coady.ie</div>			



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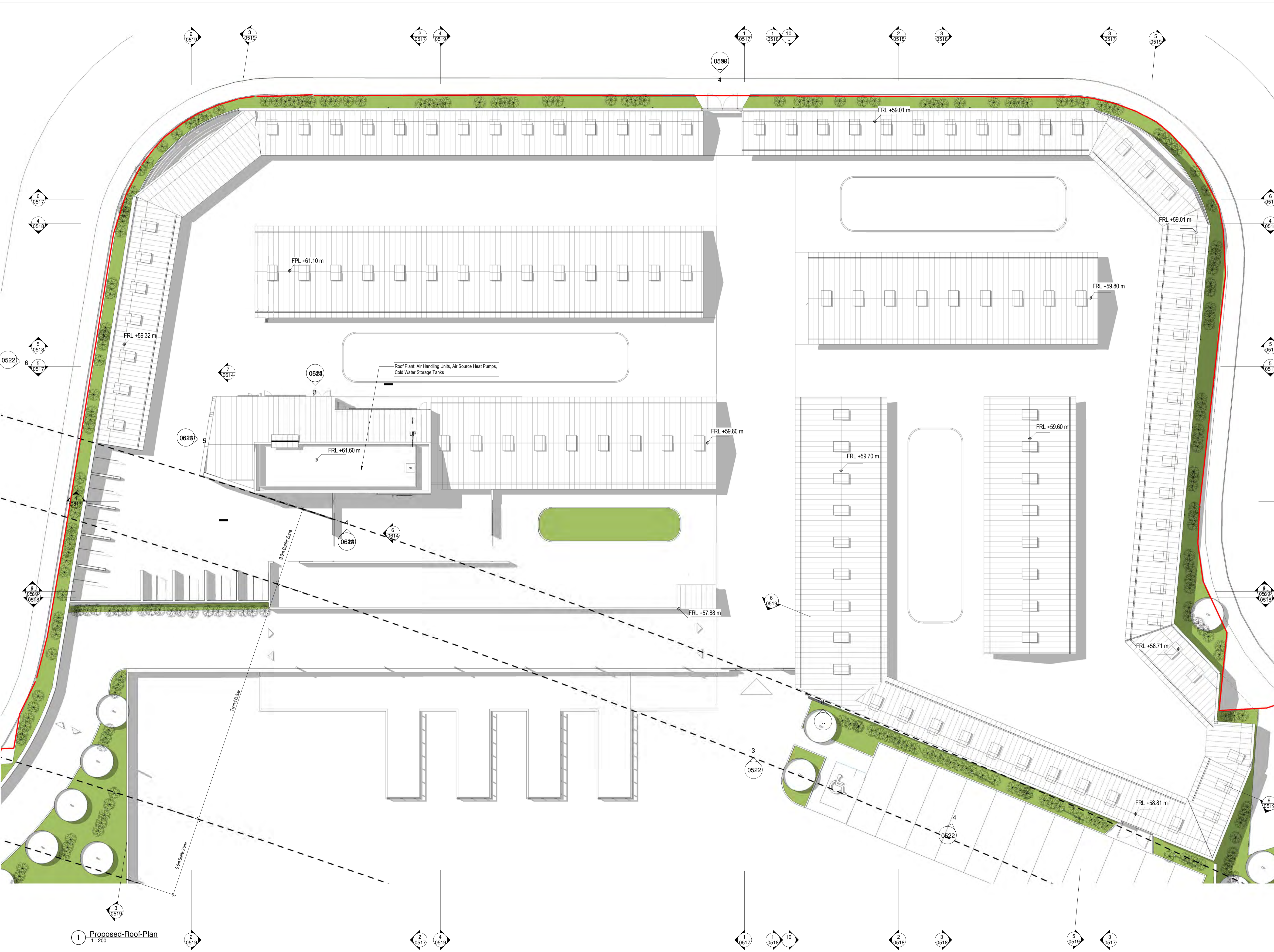
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Rev	Description	Date	By
4	IHRB Vet Area Update	2023-10-11	SM
5	Draft Planning Pack Issue	2023-10-13	SM
6	Issue to Fire Consultant	2023-10-16	MBD
7	Issue to Fire Consultant	2023-10-27	SM
8	Issue to Fire Consultant	2023-11-29	MBD
9	Updates for M&E Comments	2023-12-05	MBD
10	Client Issue	2023-12-20	SM
11	Draft Planning Pack Update	2024-01-12	SM
12	Issue to ARUP for Planning Application	2024-01-10	SM
13	Planning Application Issue	2024-05-07	SM

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Notes:

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**Legend**

**Boundary**

- Site Development Boundary
- Exclusion / Buffer Zone over Proposed N6 Tunnel

**Proposed Levels**

- FGL Finished Ground Level
- FFL Finished Floor Level
- FPL Finished Parapet Level
- FRL Finished Ridge Level

**Notes:**

- Refer to ARUP Drainage Drawings for detail on below ground drainage and proposed finished external levels
- Refer to ARUP Lighting Drawing for proposed external lighting layouts

Revisions:

1	Draft Planning Pack Issue	2023-10-13	SM
2	Issue to Fire Consultant	2023-10-27	SM
3	Updates for M&E Comments	2023-12-05	MBD
4	Draft Planning Pack Update	2024-01-12	SM
5	Issue to ARUP for Planning Application	2024-04-10	SM
6	Planning Application Issue	2024-05-07	SM
Rev	Description	Date	By

Project:  
Galway Racecourse, Stableyard

Client:  
Galway Racecourse

Title:  
Permanent Stableyard - Proposed Roof Plan

Drawing / Document Name:  
Project Originator Volume Level Type Rate Sheet Number  
**2833 GRS-COA-02-RF-DR-A-0521**

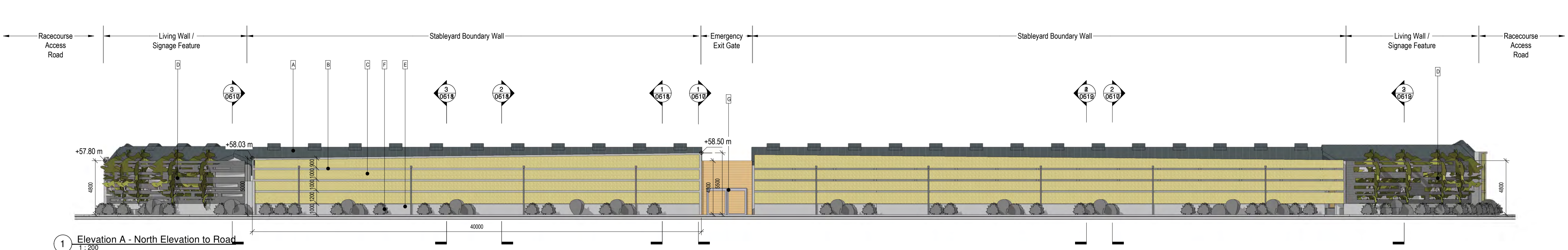
Suitability Status : Code - Description  
**S4 - For Stage Approval**

Revision:  
**P- 6**

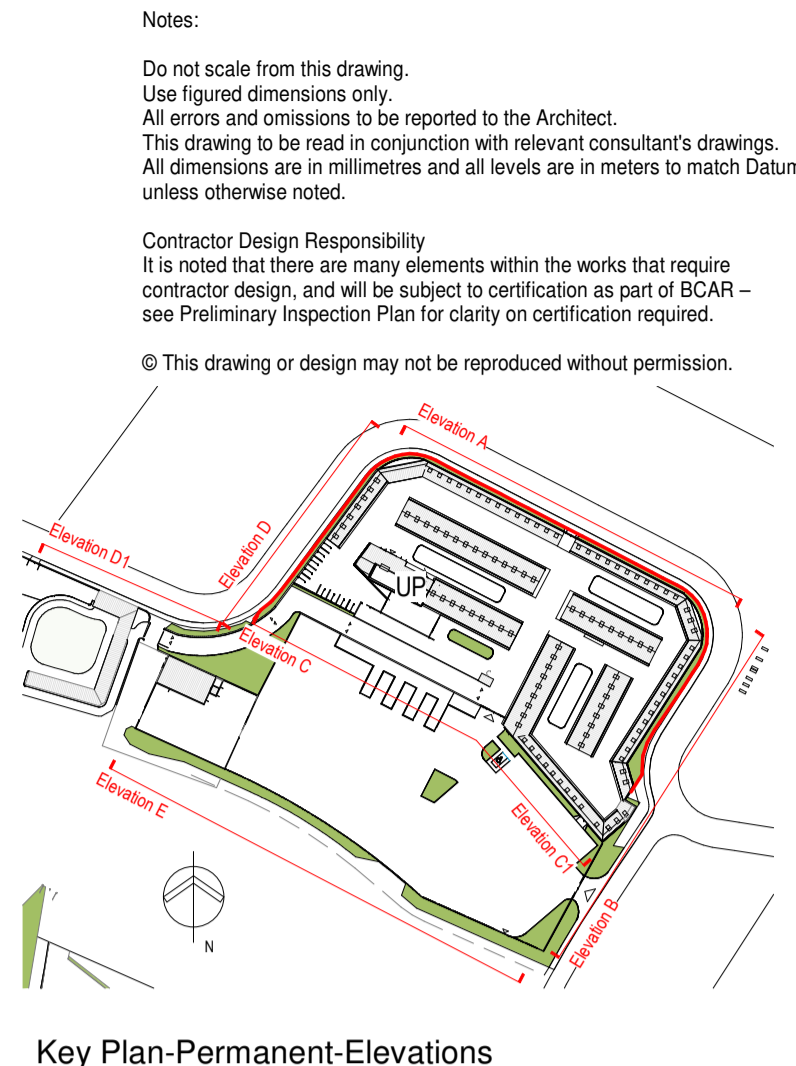
Scale @ A1 Drawn: Checked: Date:  
1 : 200 Shane Meehan John Hennigan 20-06-2023

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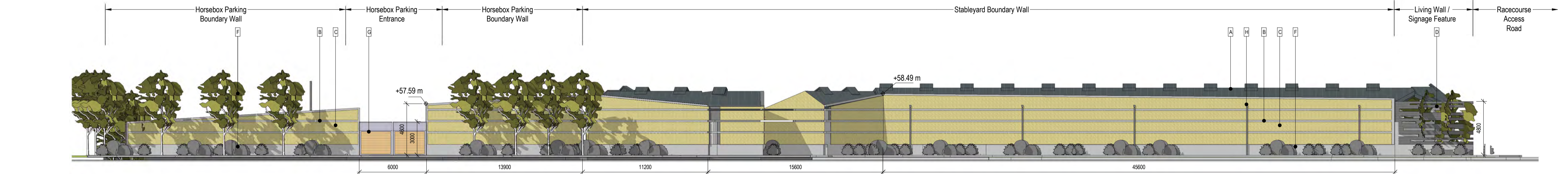
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01 497 9766 | 091 786 325 | admin@coady.ie | www.coady.ie



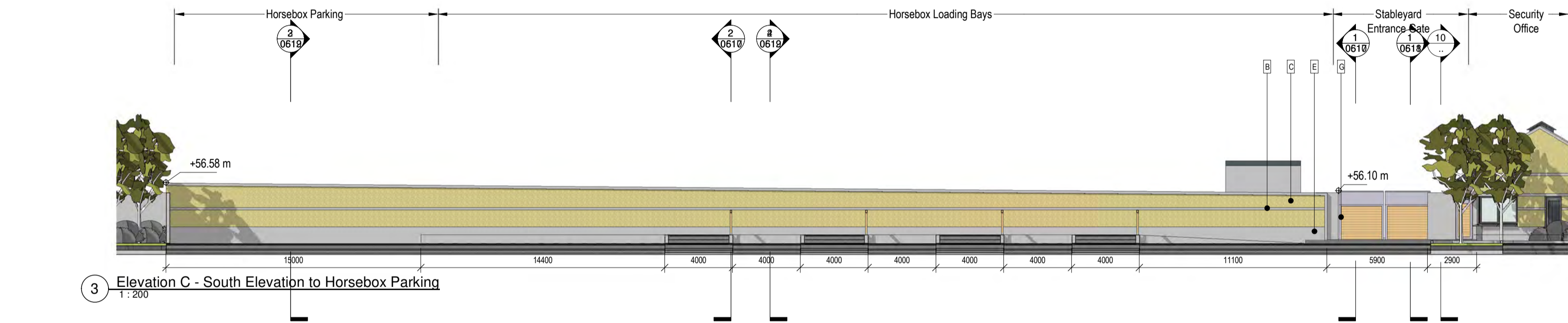
1 Elevation A - North Elevation to Road  
1 : 200



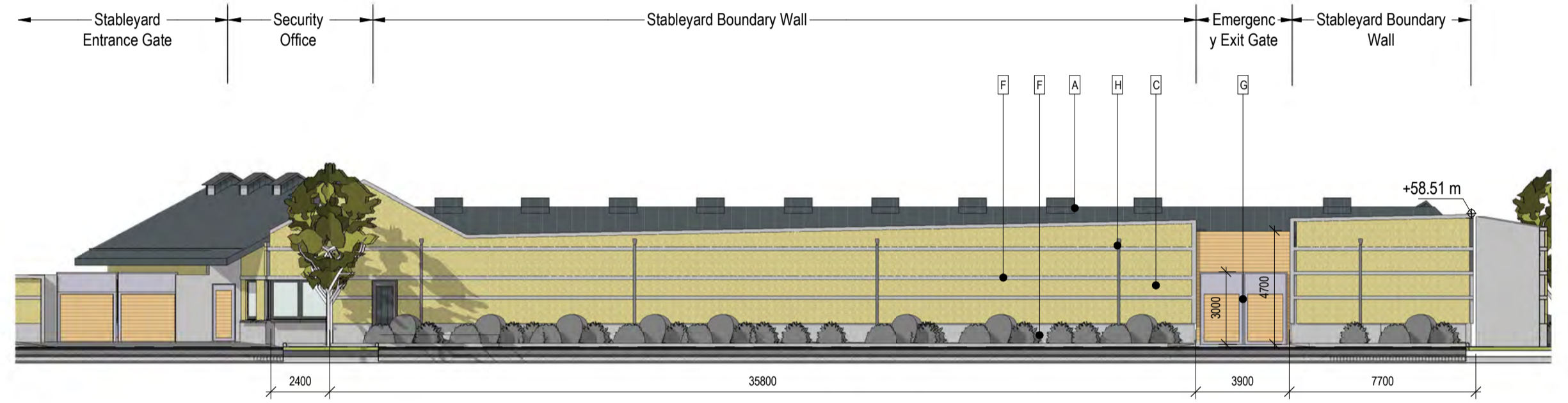
Key Plan-Permanent-Elevations



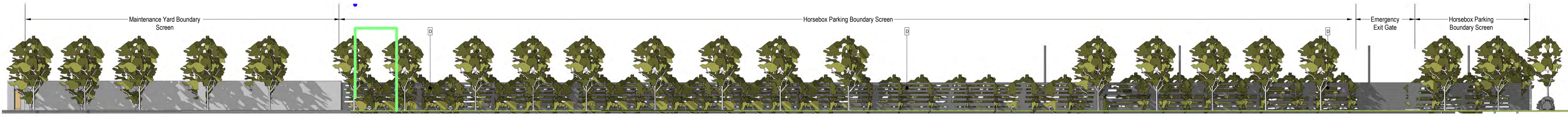
2 Elevation F - Horsebox Parking East Elevation to Road  
1 : 200



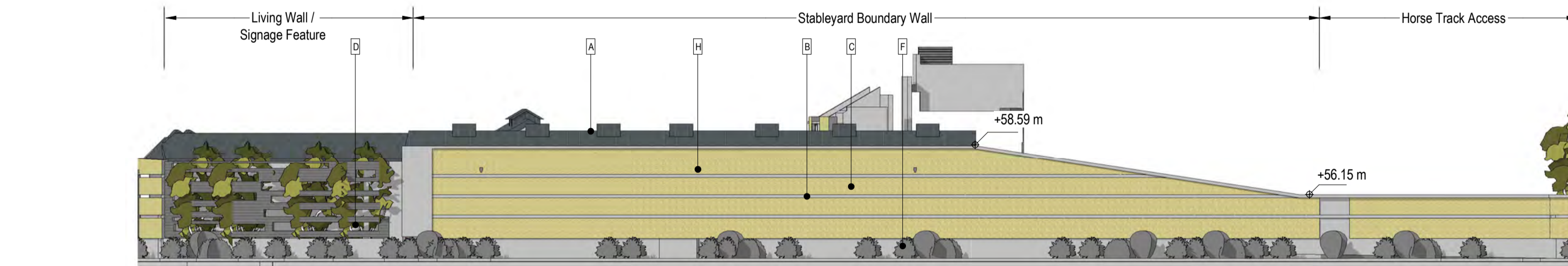
3 Elevation C - South Elevation to Horsebox Parking  
1 : 200



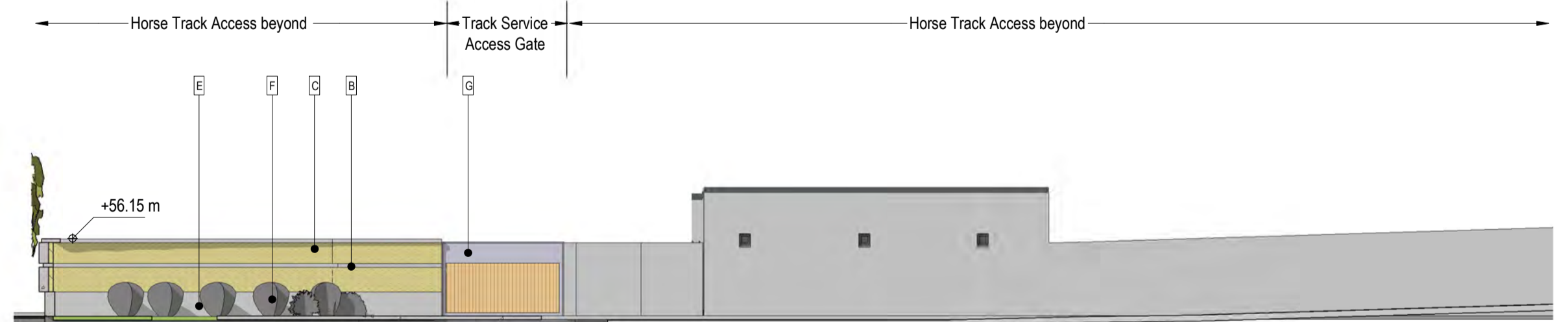
4 Elevation C1 - South Elevation to Horsebox Parking  
1 : 200



5 Elevation E - Horsebox Parking Boundary to Track  
1 : 200



6 Elevation D - West Elevation to Road  
1 : 200



7 Elevation D1 - North Elevation to Road  
1 : 200



Materials						
A	Profilled Metal Roof					
B	Smooth Finish Concrete Banding - 150mm deep					
C	Dry Stone Walling - Max. coursing 150mm deep, Pale coloured Sandstone					
D	Living Wall / Trellis Screening - Refer to Landscape Plans and Specification					
E	Smooth Finish Precast Concrete					
F	Landscaping Zone - Refer to Landscape Plans and Specification					
G	Galvanised Steel/Timber Gates					
H	Feature Rainwater Outlets					
J	Galvanised Steel/Recycled Plastic Sliding Stable Doors					
K	Thermally Broken Aluminium Doors & Windows					
L	Profilled Metal Ventilation Outlets					

Notes:

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Revisions:			
1	Draft Planning Pack Issue	2023-10-13	SM
2	Issue to Fire Consultant	2023-10-27	SM
3	Issue to Fire Consultant	2023-11-29	MBD
4	Updates for M&E Comments	2023-12-05	MBD
5	Draft Planning Pack Update	2024-01-12	SM
6	Updates to Site Plans	2024-02-12	MBD
7	Issue to ARUP for Planning Application	2024-04-10	SM
8	Planning Application issue	2024-05-07	SM
Rev	Description	Date	By

Project:  
Galway Racecourse, Stableyard

Client:  
Galway Racecourse

Title:  
Permanent Stableyard - Proposed Elevations

Drawing / Document Name:  
Project Number Project Originator Volume Level Type Rate Sheet Number  
**2833 GRS-COA-02-ZZ-DR-A-0522**

Suitability Status : Code - Description  
**S4 - For Stage Approval**

Scale @ A1 Drawn: Checked: Date:  
As indicated Shane Meehan John Hennigan 20-06-2023

Revision:  
**P- 8**

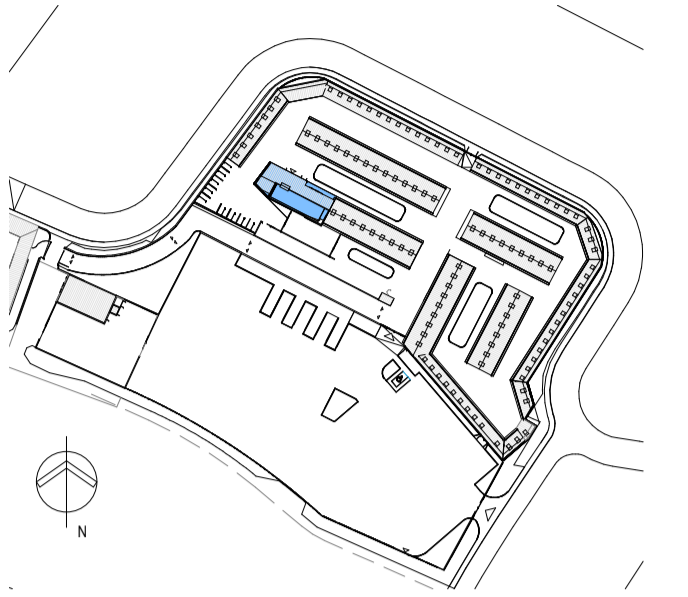
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Unit 8A Cran Point, Main St, Cranmore, Co. Galway  
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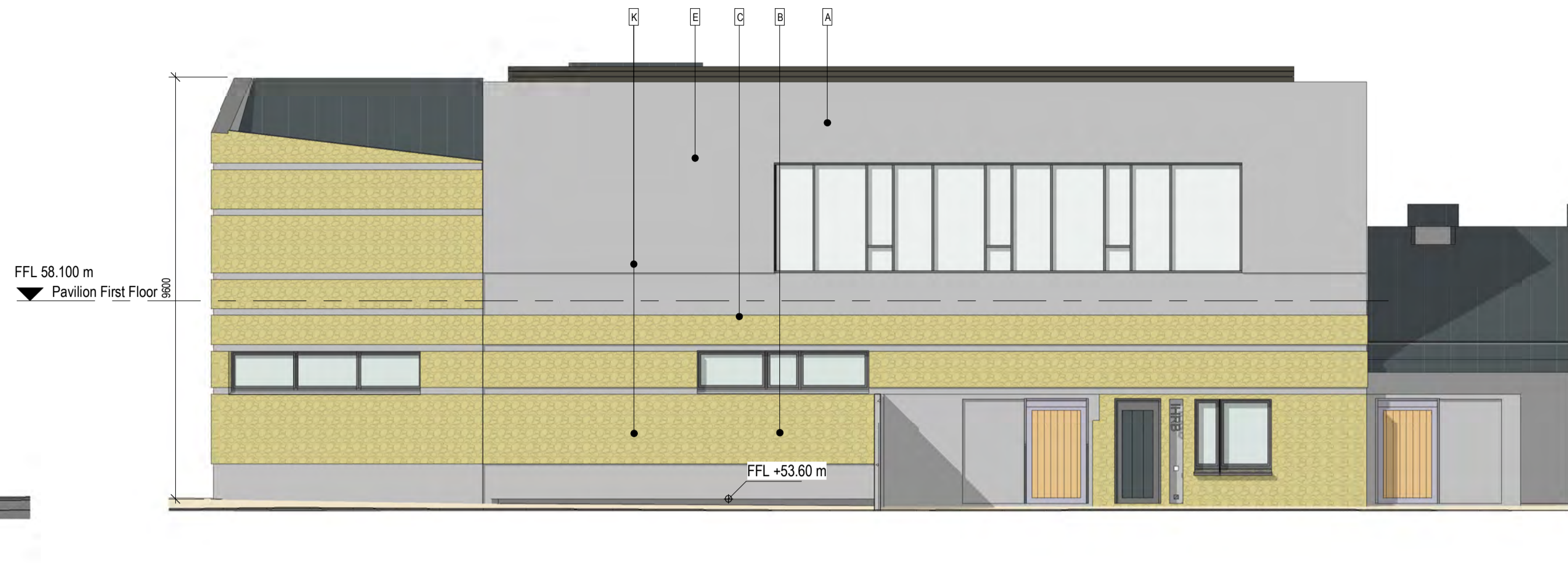


Key Plan-Permanent-Pavilion

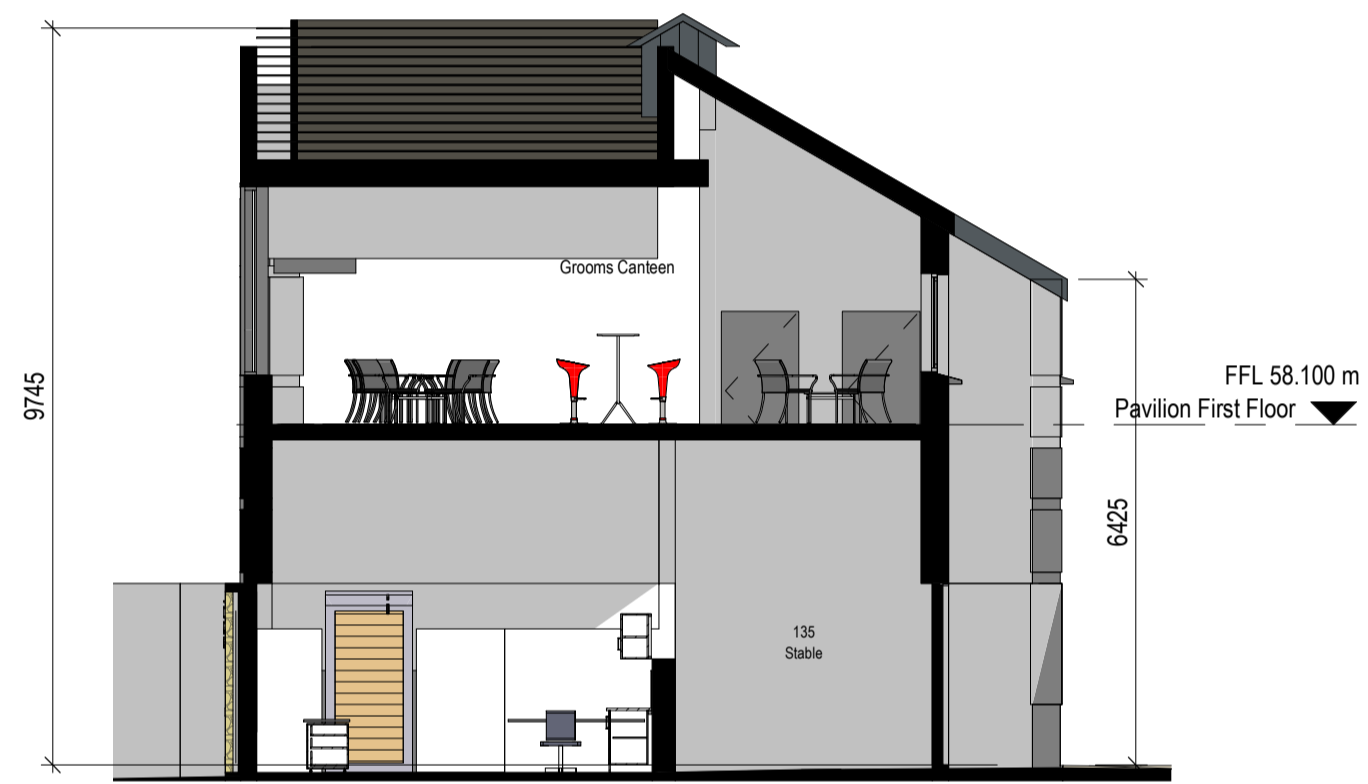
Legend	
Proposed Levels	
FGL	Finished Ground Level
FFL	Finished Floor Level
FPL	Finished Parapet Level
FRL	Finished Ridge Level
NOTES: Refer to ARUP Drainage Drawings for proposed finished external levels	
Refer to ARUP Lighting Drawing for proposed external lighting layouts	



3 Pavilion - North Elevation  
1:100



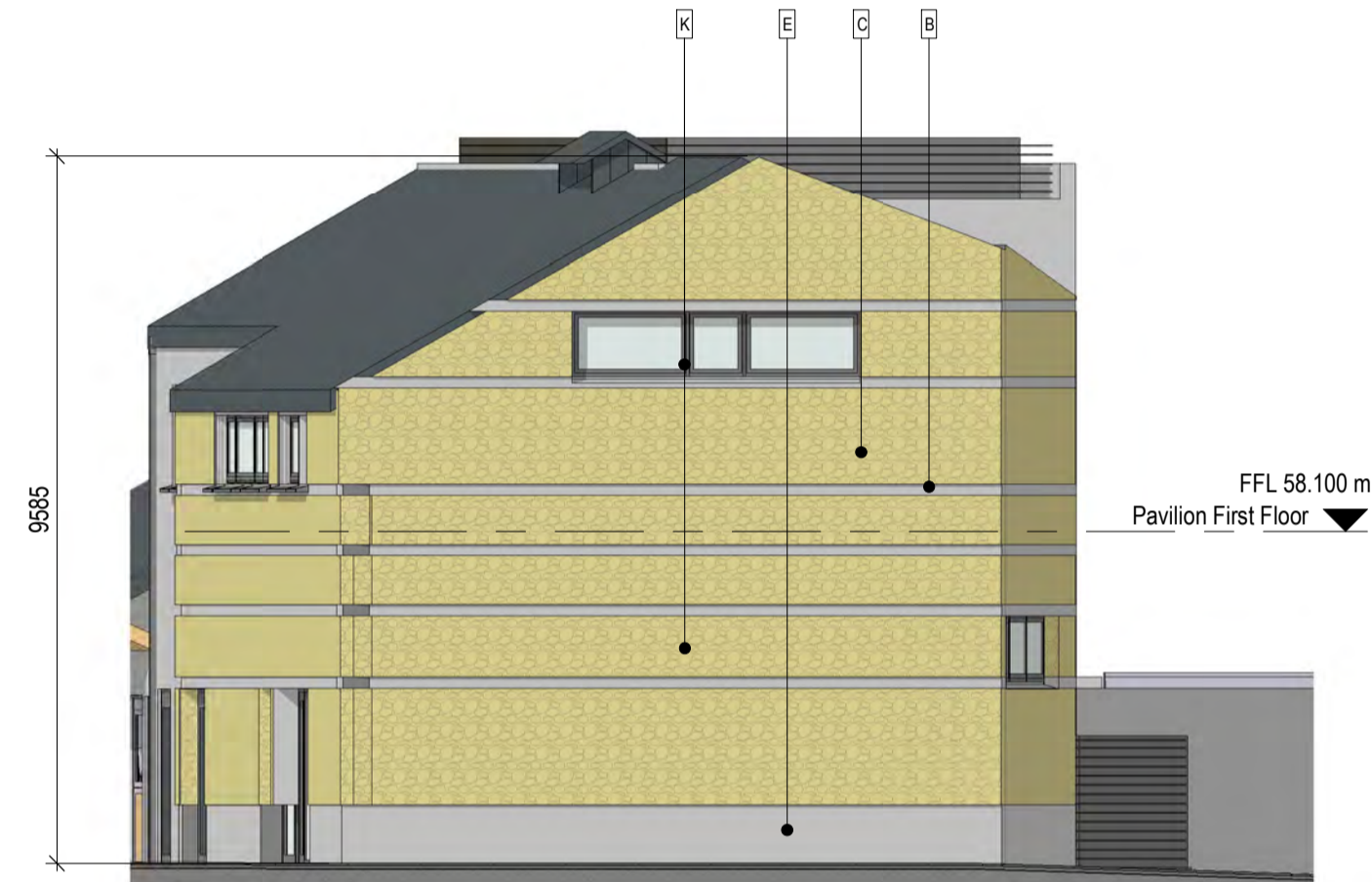
4 Pavilion - South Elevation  
1:100



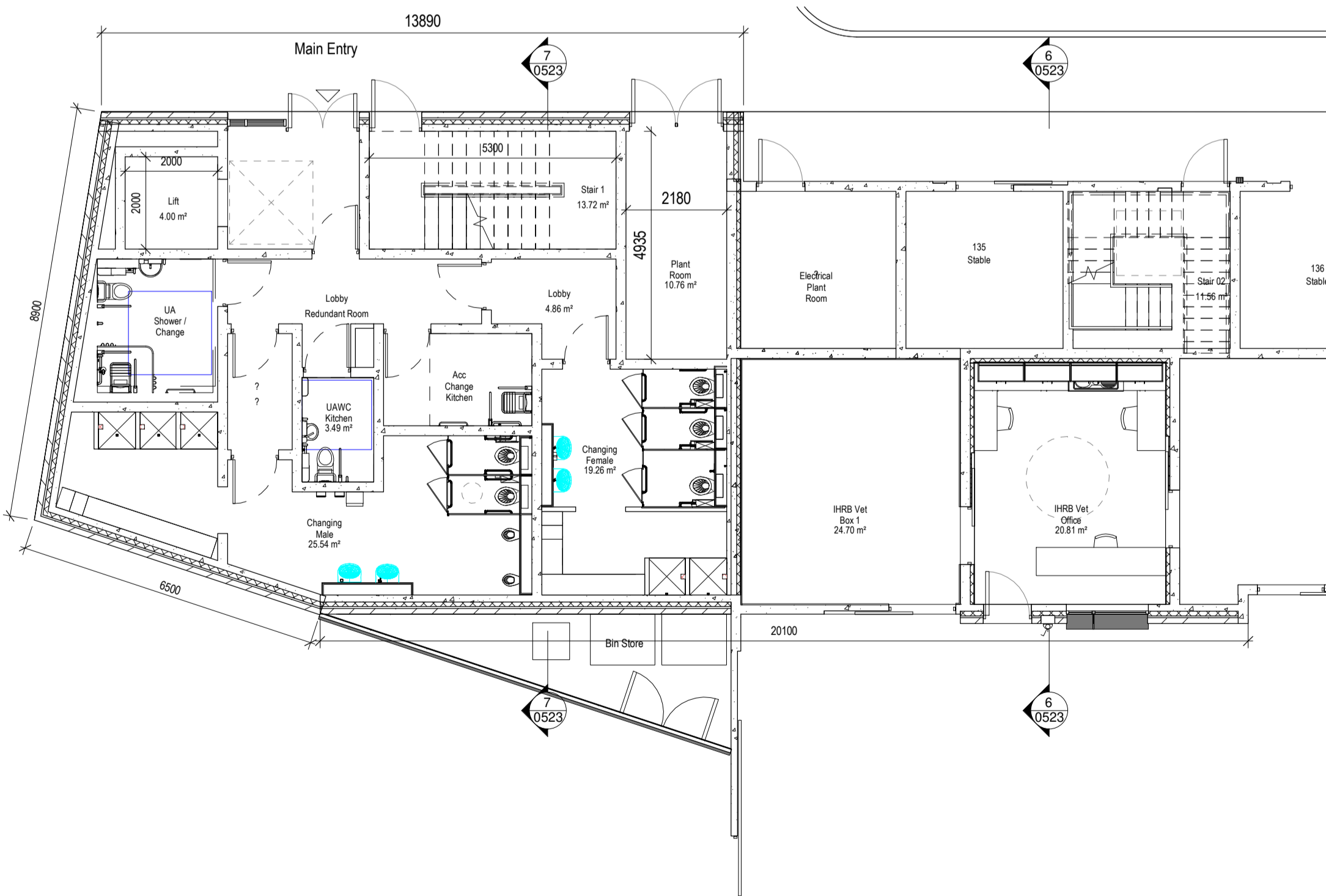
6 Grooms Pavilion-Section A A  
1:100



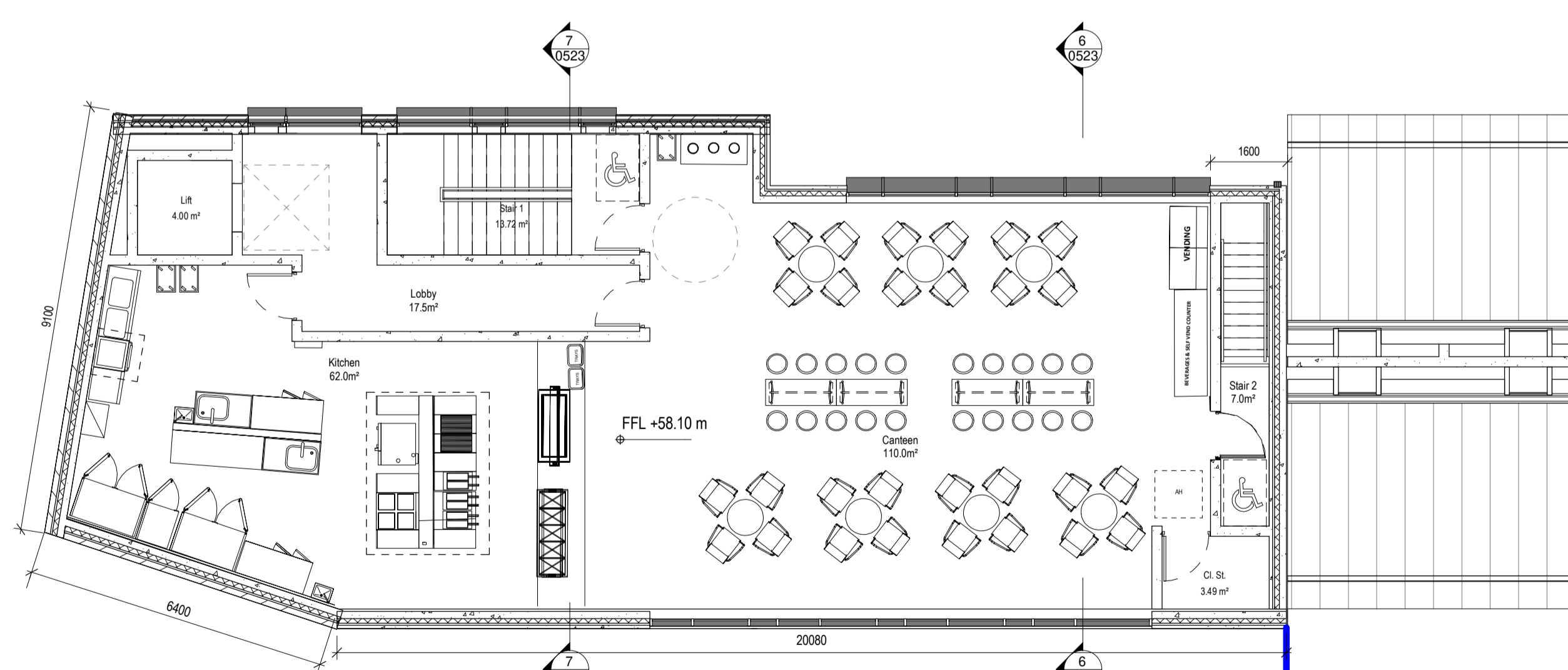
7 Grooms Pavilion-Section B B  
1:100



5 Pavilion - West Elevation  
1:100



2 Proposed-Ground Floor Plan-Pavilion  
1:100



1 Proposed-First-Floor-Plan-Pavilion  
1:100

Materials						
A	-	Profiled Metal Roof				
B	-	Smooth Finish Concrete Banding - 150mm deep				
C	-	Dry Stone Walling - Max. coursing 150mm deep, Pale coloured Sandstone				
D	-	Living Wall / Trellis Screening - Refer to Landscape Plans and Specification				
E	-	Smooth Finish Precast Concrete				
F	-	Landscaping Zone - Refer to Landscape Plans and Specification				
G	-	Galvanised Steel/Timber Gates				
H	-	Feature Rainwater Outlets				
J	-	Galvanised Steel/Recycled Plastic Sliding Stable Doors				
K	-	Thermally Broken Aluminium Doors & Windows				
L	-	Profiled Metal Ventilation Outlets				

Revisions:			
1	Issue to Fire Consultant	2023-12-06	MBD
2	Issue to Fire Consultant	2023-12-08	MBD
3	Issue to Client	2023-12-12	MBD
4	Client Issue	2023-12-20	SM
5	Draft Planning Pack Update	2024-01-12	SM
6	Issue to Fire Consultant	2024-03-22	MBD
7	Issue to ARUP for Planning Application	2024-04-10	SM
8	Planning Application Issue	2024-05-07	SM
Rev	Description	Date	By

Project:  
Galway Racecourse, Stableyard

Client:  
Galway Racecourse

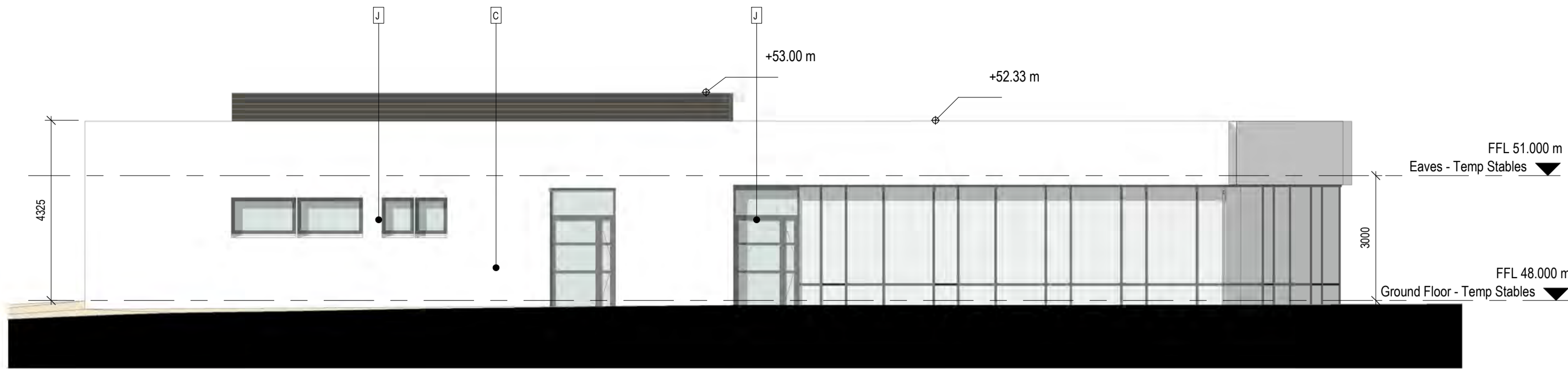
Title:  
Permanent Stableyard - Groom's Pavilion - Proposed Plans, Sections & Elevations

Drawing / Document Name:  
Project Number Project Originator Volume Level Type Rate Sheet Number  
2833 GRS-COA-02-ZZ-DR-A-0523

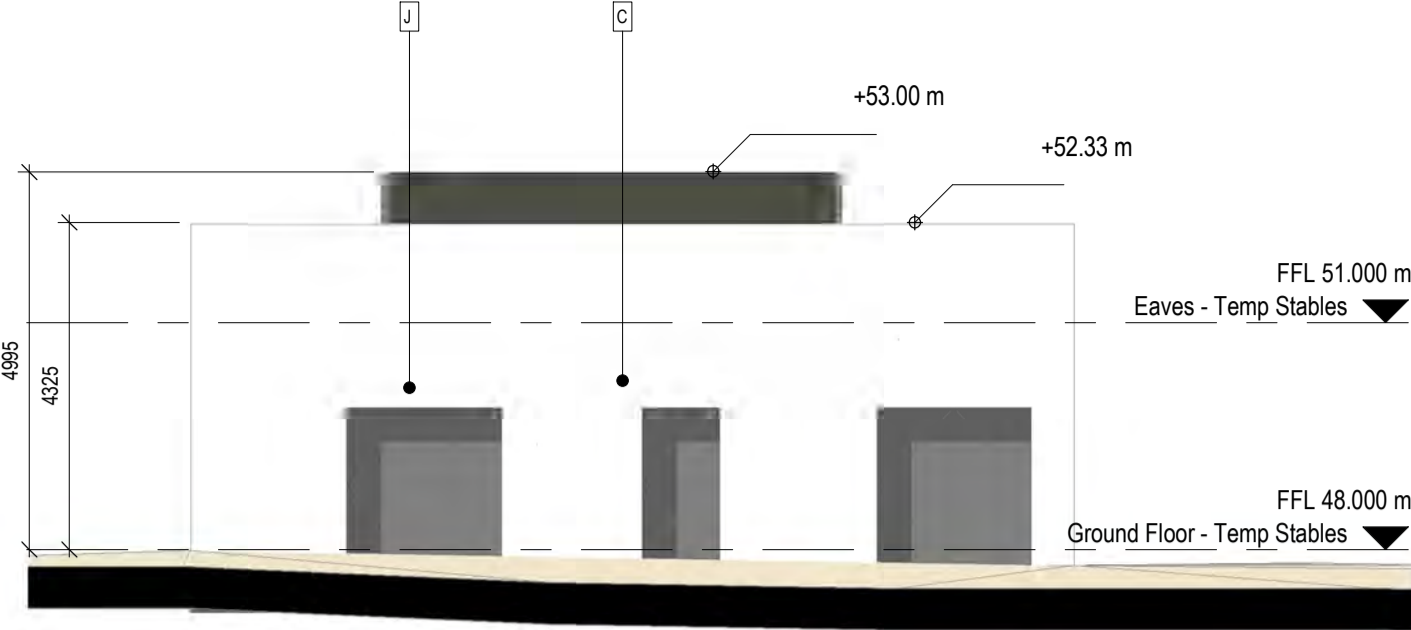
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S4 - For Stage Approval Revision: P- 8

Scale @ A1 Drawn: Checked: Date:  
As indicated Shane Meehan John Hennigan 20-06-2023

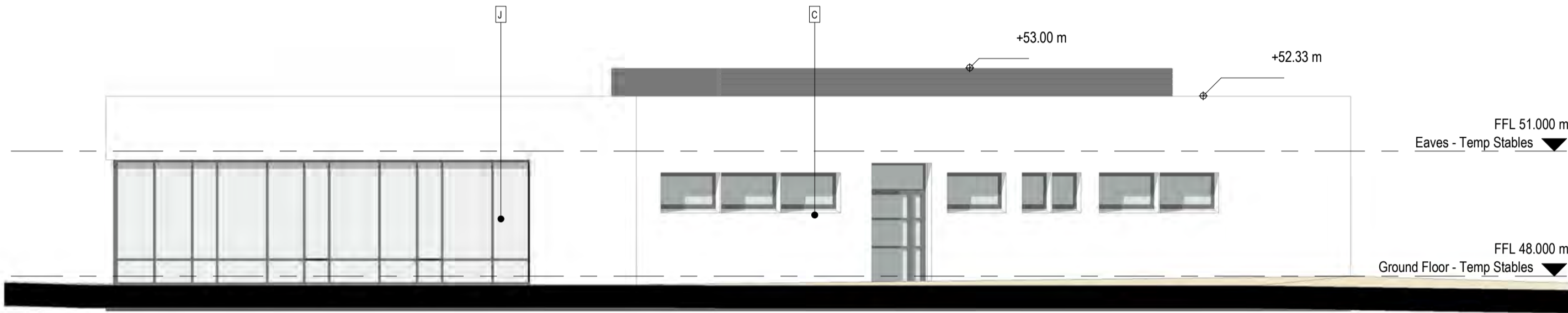
COADY ARCHITECTS  
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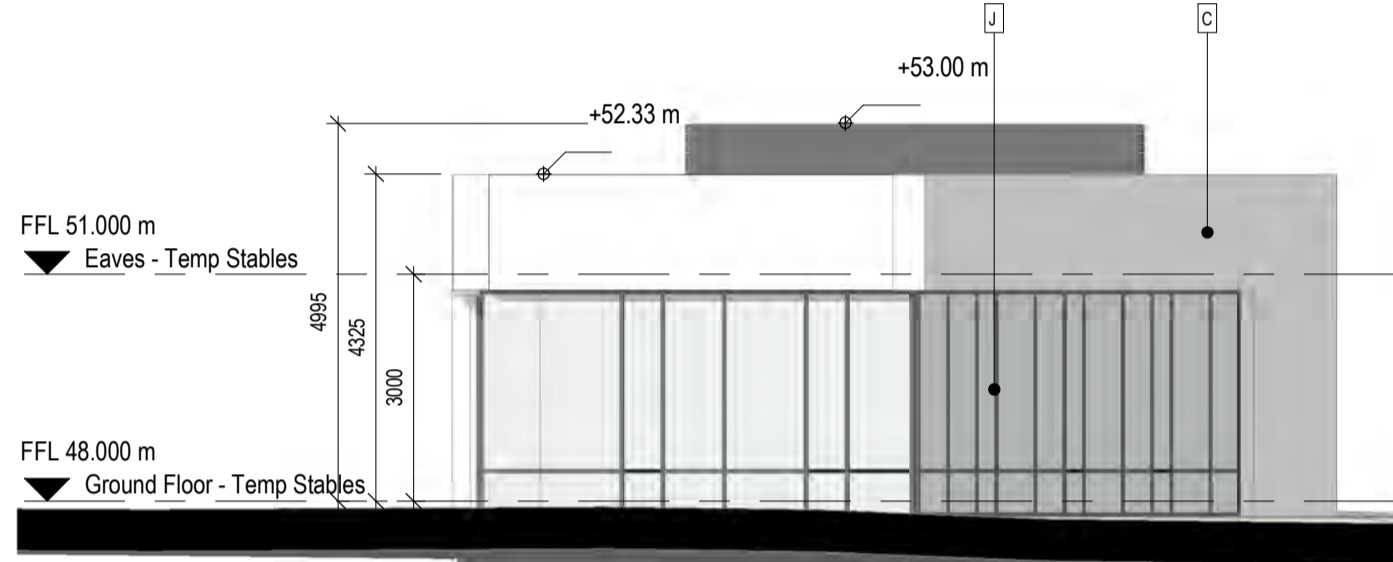
2 Temporary Stableyard-Grooms Pavilion-Elevation A  
1 : 100



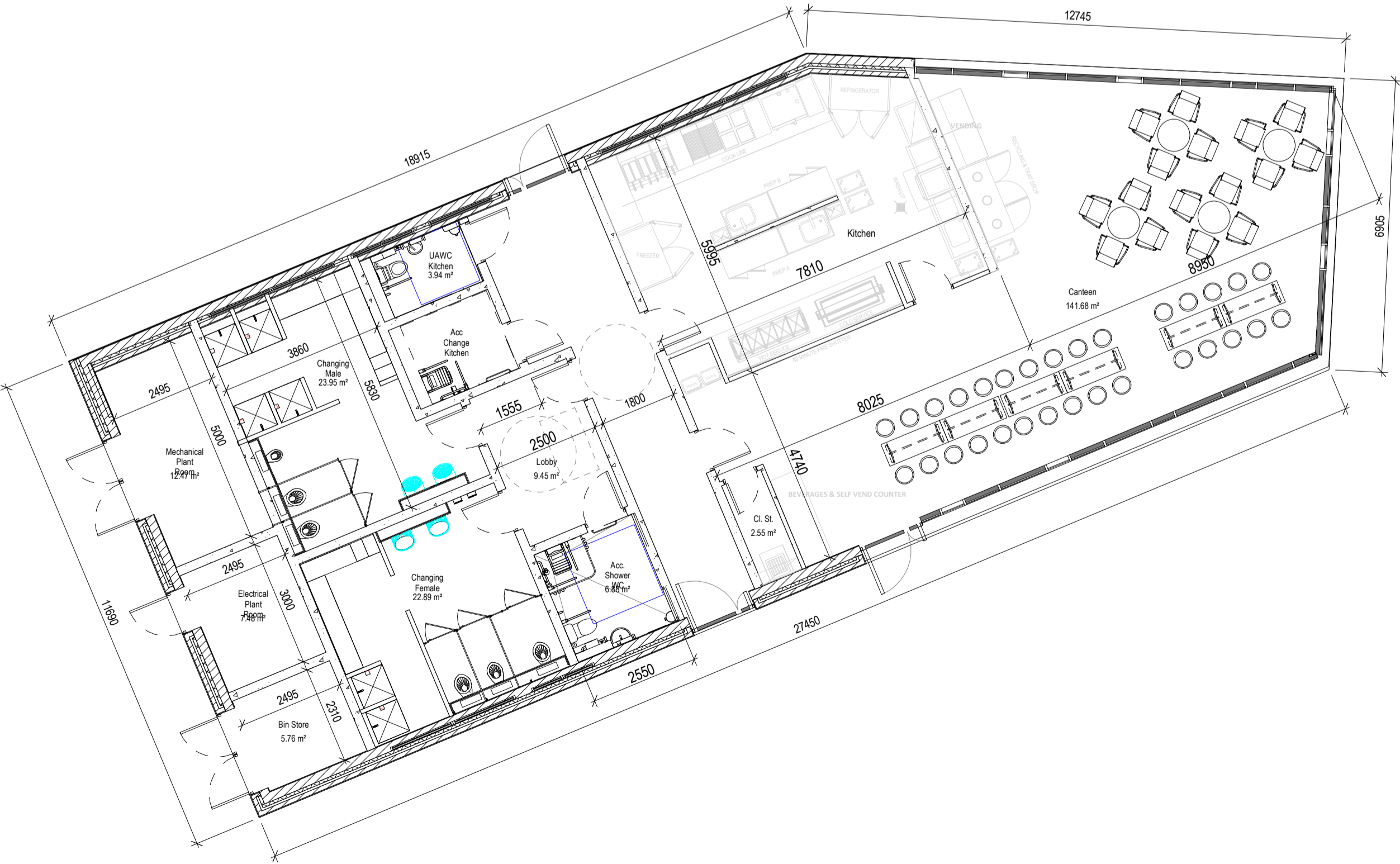
5 Temporary Stableyard-Grooms Pavilion-Elevation B  
1 : 100



6 Temporary Stableyard-Grooms Pavilion-Elevation C  
1 : 100



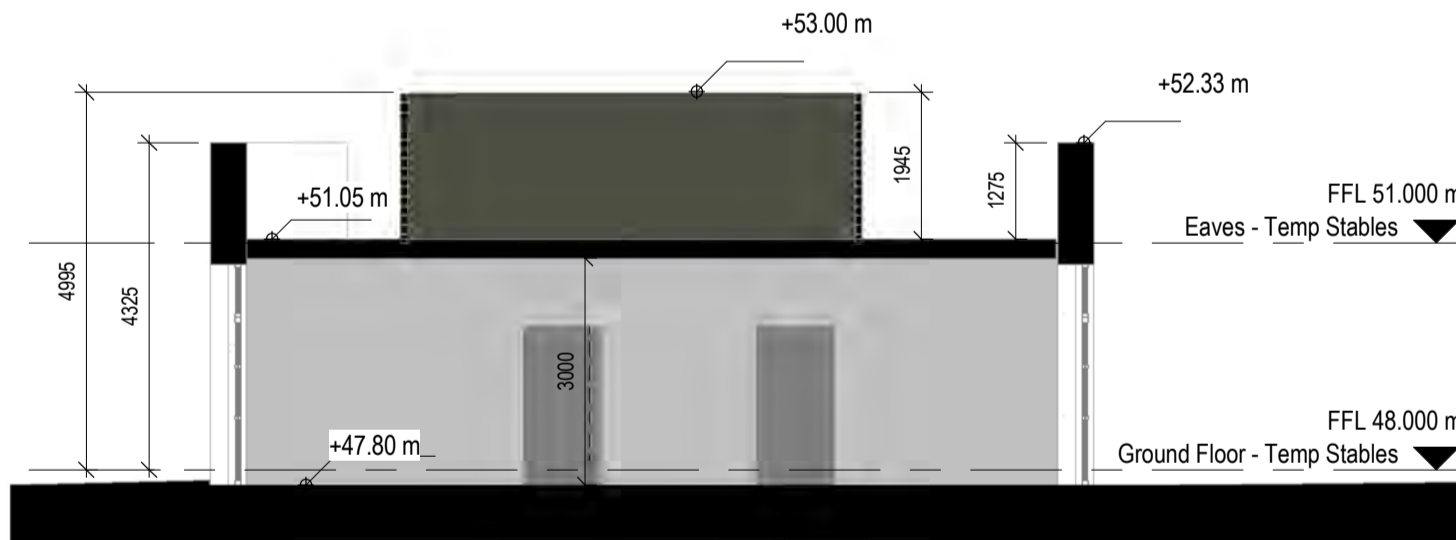
7 Temporary Stableyard-Grooms Pavilion-Elevation D  
1 : 100



1 Temporary Stableyard-Proposed Ground Floor Plan Pavilion  
1 : 100



3 Temporary Stableyard-Grooms Pavilion-Section B  
1 : 100



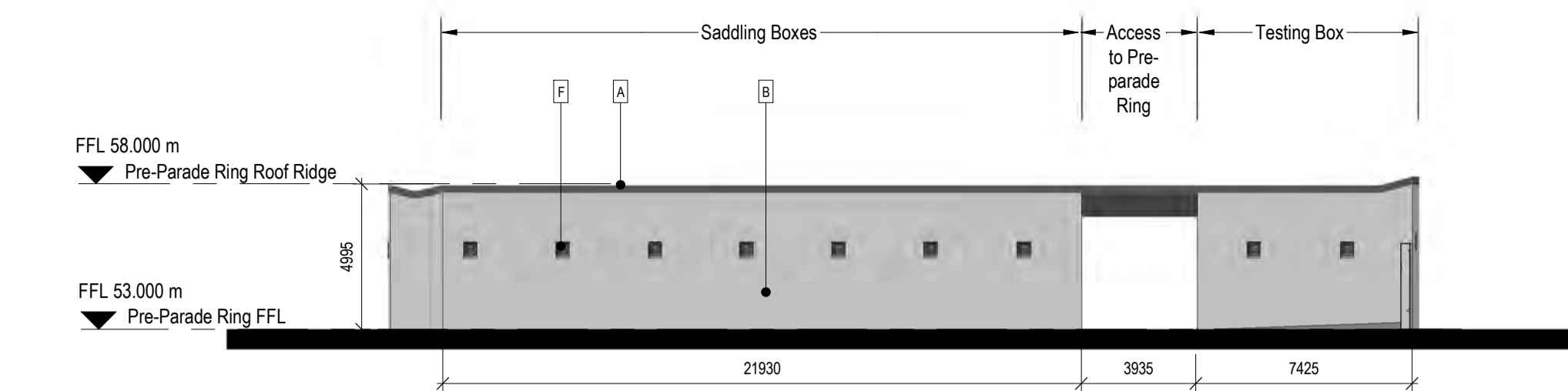
4 Temporary Stableyard-Grooms Pavilion-Section A  
1 : 100

Notes:  
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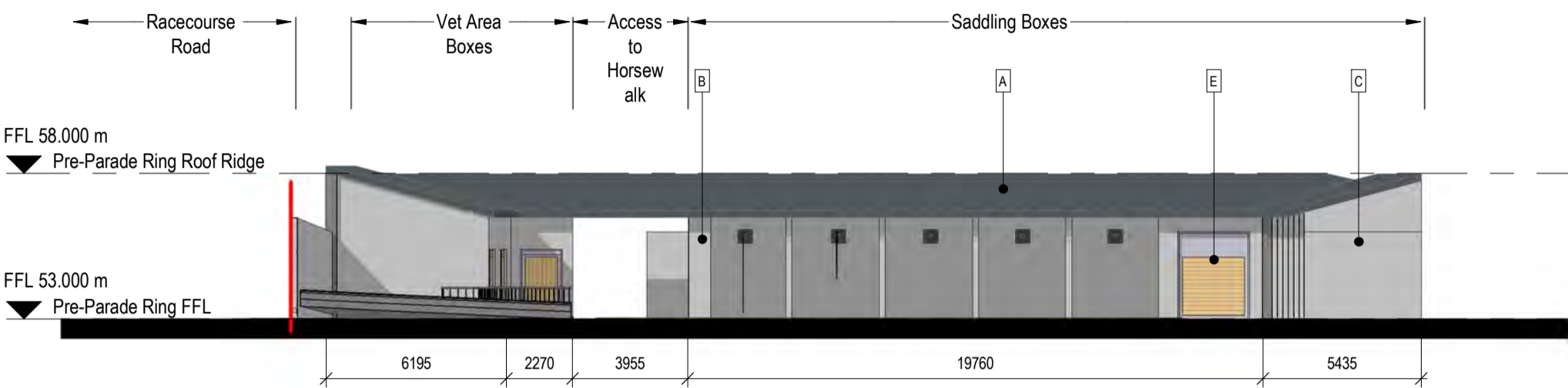
Legend	
Proposed Levels	
FGL	Finished Ground Level
FFL	Finished Floor Level
FPL	Finished Parapet Level
FRL	Finished Ridge Level
NOTES: Refer to ARUP Drainage Drawings for proposed finished external levels	
Refer to ARUP Lighting Drawing for proposed external lighting layouts	

Materials	
A	Extensive Green Roof Build-Up
B	Smooth Finish Concrete Banding - 150mm deep
C	Rendered Blockwork Finish - Max. coursing 150mm deep
D	Smooth Finish Precast Concrete
E	Landscaping Zone - Refer to Landscape Plans and Specification
F	Galvanised Steel/Timber Gates
G	Feature Rainwater Outlets
H	Galvanised Steel/Recycled Plastic Sliding Stable Doors
J	Thermally Broken Aluminium Doors & Windows
K	Profiled Metal Ventilation Outlets
L	Timber Post and Rail Fencing

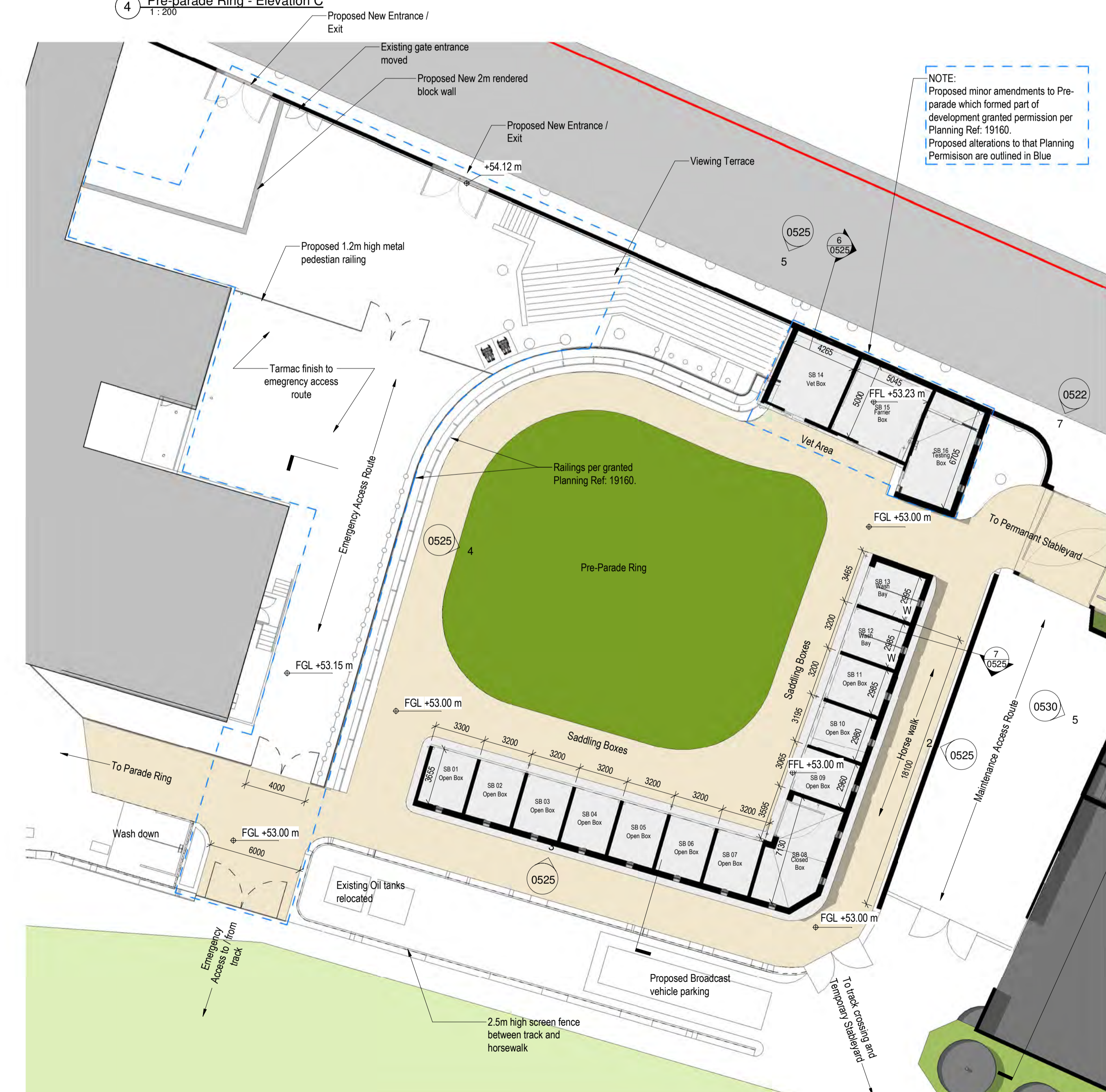
Revisions:			
1	Issue to Fire Consultant	2023-12-06	MBD
2	Issue to Client	2023-12-12	MBD
3	Client Issue	2023-12-20	SM
4	Draft Planning Pack Update	2024-01-12	SM
5	Issue to Fire Consultant	2024-01-31	MBD
6	Kitchen Layout Update	2024-02-20	MBD
7	Issue to ARUP for Planning Application	2024-04-10	SM
8	Planning Application Issue	2024-05-07	SM
Rev	Description	Date	By
Project: Galway Racecourse, Stableyard			
Client: Galway Racecourse			
Title: Temporary Stableyard - Groom's Pavilion - Proposed Plans, Sections & Elevations			
Drawing / Document Name: Project Number Project Originator Volume Level Type Rate Sheet Number 2833 GRS-COA-01-ZZ-DR-A-0524			
Suitability Status : Code - Description S4 - For Stage Approval			Revision: P- 8
Scale @ A1 Drawn: Molly B Dowling		Checked: Shane Meehan	
1 : 100		Date: 12/06/23	
COADY ARCHITECTS Mt Pleasant Business Ctr, Ranelagh, Dublin 6, D06 XTP8 Unit 8A Cran Point, Main St, Cranmore, Co. Galway 01 497 6766   091 786 925   admin@coady.ie   www.coady.ie			



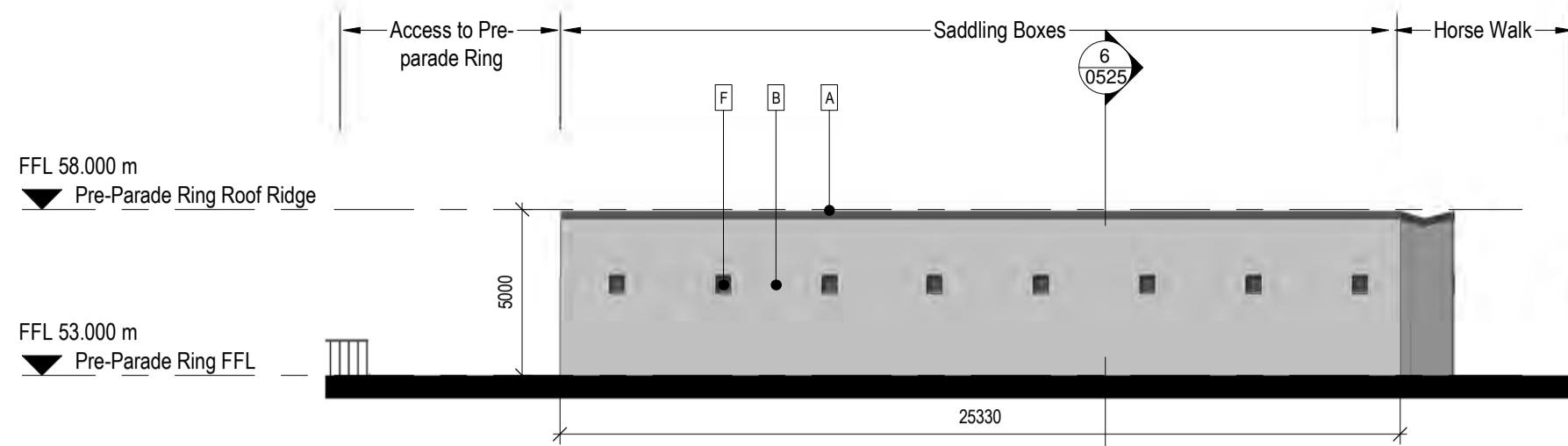
2 Pre-Parade Ring - Elevation A  
1:200



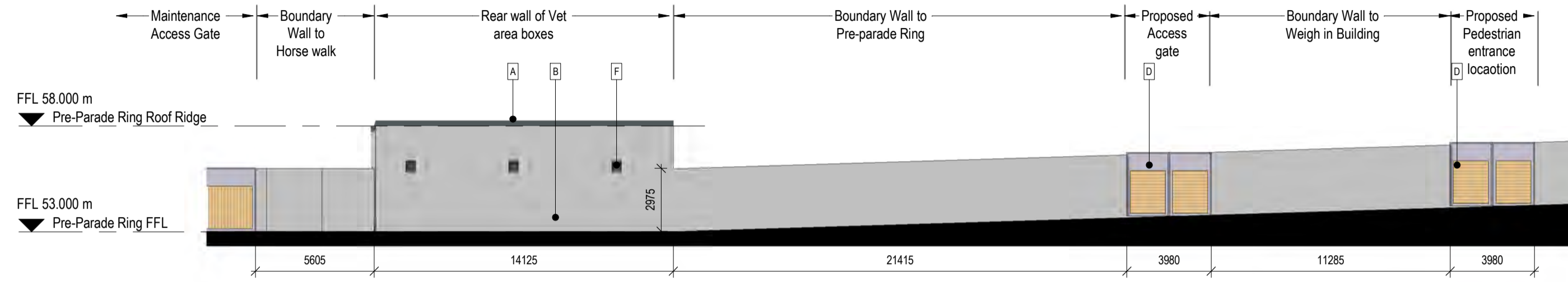
4 Pre-Parade Ring - Elevation C  
1:200



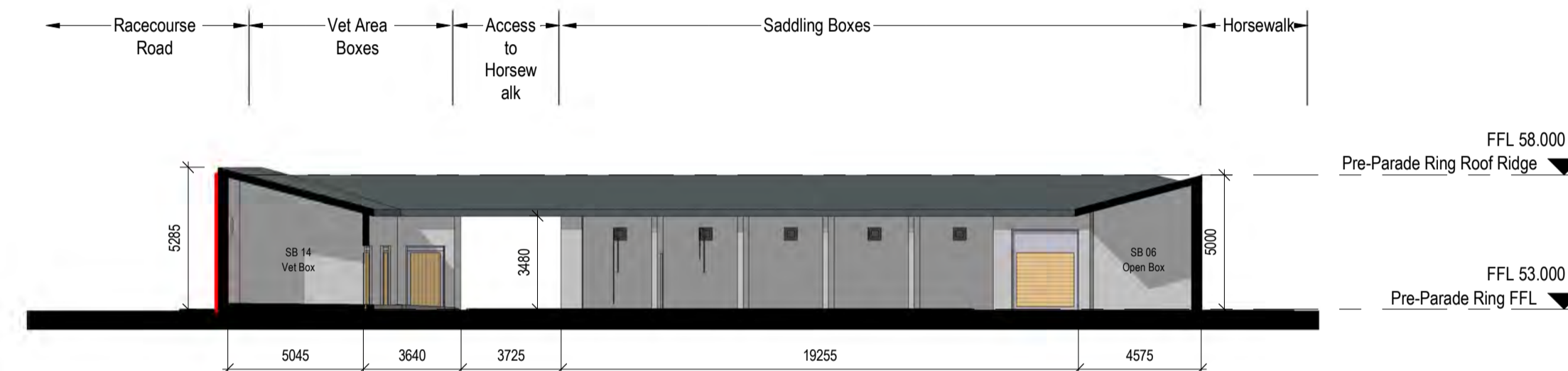
1 Prepare Ring-Proposed Ground Floor Plan  
1:200



3 Pre-Parade Ring - Elevation B  
1:200



5 Pre-Parade Ring - Elevation D  
1:200



6 Pre-Parade Ring - Section A A  
1:200



7 Pre-Parade Ring - Section B B  
1:200

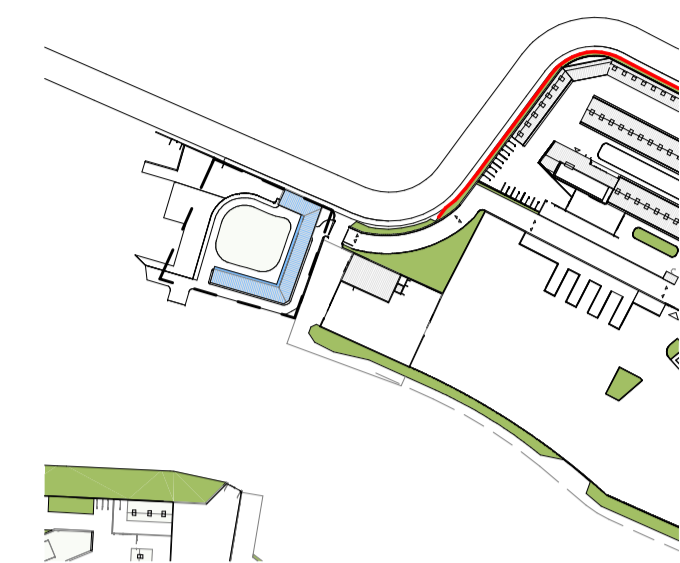
Materials	
A - Profiled Metal Roof	
B - Smooth Render Finish to Concrete block wall	
C - Smooth Finish Precast Concrete	
D - Galvanised Steel/Timber Gates	
E - Galvanised Steel/Recycled Plastic Sliding Stable Door	
F - Profiled Metal Ventilation Outlets	

Notes:

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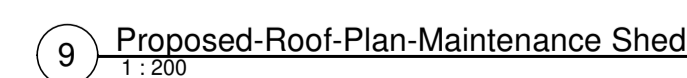
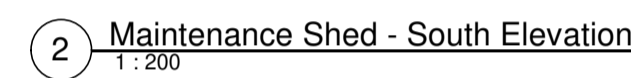
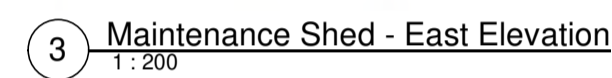
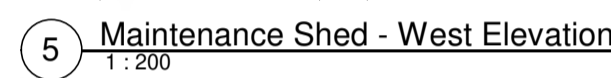
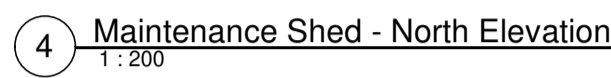
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Key Plan-Permanent-Pre-Parade Ring

Legend	
<b>Boundary</b>	
<span style="color: red;">—</span>	Proposed Site Development Boundary
<span style="color: blue;">—</span>	Adjacent lands in ownership of applicant
<span style="color: green;">—</span>	N6 GCRR Proposed Road Development Boundary. Planning Ref: ABP-318220-23 & ABP-318217-23
<b>Proposed Levels</b>	
FGL	Finished Ground Level
FFL	Finished Floor Level
FPL	Finished Parapet Level
FRL	Finished Ridge Level
<b>Proposed Foul Water Drainage</b>	
<span style="color: red;">---</span>	Aco channel
<b>Proposed Surface Water Drainage</b>	
<span style="color: green;">---</span>	Aco channel
<b>Proposed Water Services</b>	
<span style="border: 1px solid blue; padding: 0 2px;">W</span>	Water point
<b>Proposed Lighting</b>	
LP	Light pole location
<b>Notes:</b>	
Refer to ARUP Drainage Drawings for below ground drainage and proposed finished external levels	
Refer to ARUP Lighting Drawing for proposed external lighting layouts	

Revisions:			
1	Draft Planning Pack Issue	2023-10-13	SM
2	Draft Planning Pack Update	2024-01-12	SM
3	Issue to ARUP for Planning Application	2024-04-10	SM
4	Planning Application Issue	2024-05-07	SM
Rev	Description	Date	By
Project: Galway Racecourse, Stableyard			
Client: Galway Racecourse			
Title: Prepare Ring - Proposed Plans, Sections & Elevations			
Drawing / Document Name: 2833 GRS-COA-03-ZZ-DR-A-0525			
Suitability Status : Code - Description			Revision: P- 4
S4 - For Stage Approval			
Scale @ A1	Drawn: Molly B Dowling	Checked: Shane Meehan	Date: 10/11/23
As indicated			
COADY ARCHITECTS			
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01 497 97168   091 788 525   admin@coady.ie   www.coady.ie			



Notes:

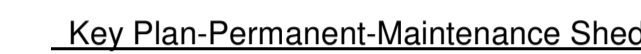
- Do not scale from this drawing.
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It is noted that there are many elements within the works that require contractor design, and will be subject to certification as part of BCAR – see Preliminary Inspection Plan for clarity on certification required.

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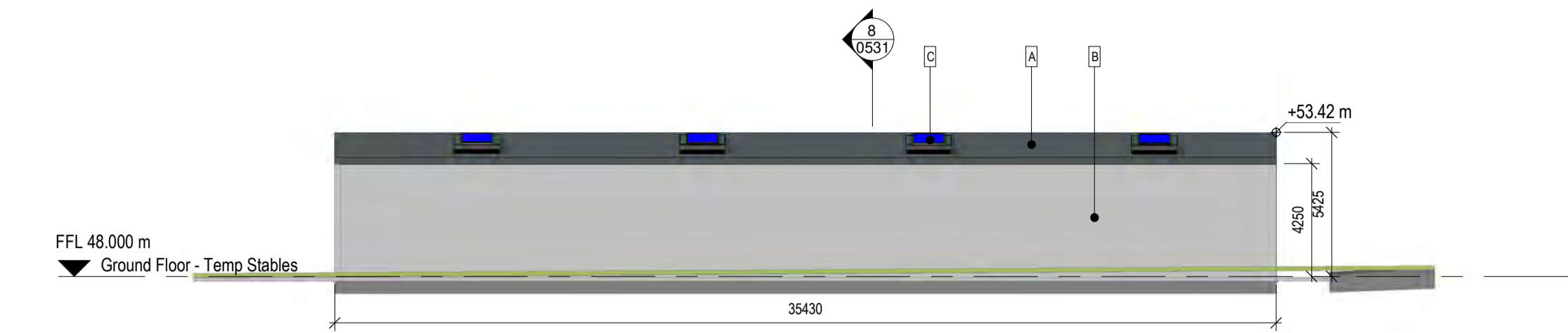
**Key Plan-Permanent-Maintenance Shed**

Legend	
<b>Boundary</b>	
	Proposed Site Development Boundary
	Adjacent lands in ownership of applicant
	N6 GORR Proposed Road Development Boundary
<b>Proposed Levels</b>	
FGL	Finished Ground Level
FFL	Finished Floor Level
FPL	Finished Parapet Level
FRL	Finished Ridge Level
<b>Proposed Foul Water Drainage</b>	
	Aco channel
<b>Proposed Surface Water Drainage</b>	
	Aco channel
<b>Proposed Water Services</b>	
	Water point
<b>Proposed Lighting</b>	
LP	Light pole location
<b>Notes:</b>	
Refer to ARUP Drainage Drawings for below ground drainage and proposed finished external levels	
Refer to ARUP Lighting Drawing for proposed external lighting layouts	

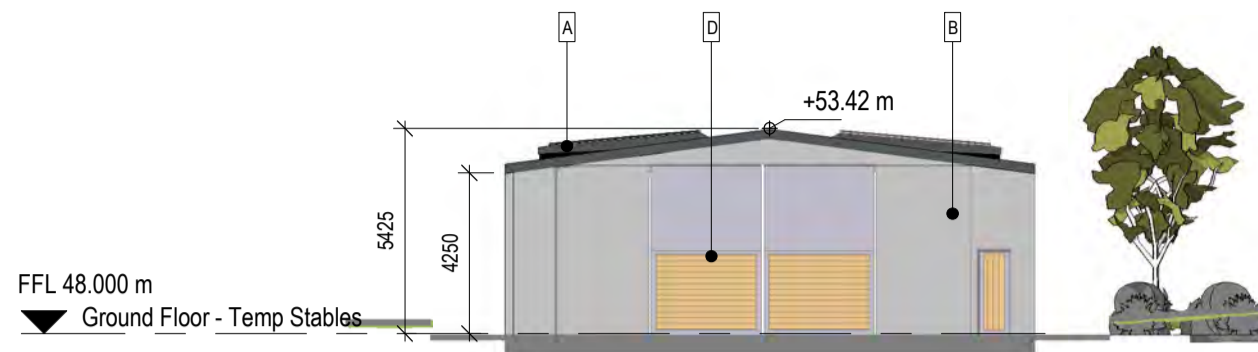


Legend	
<b>Boundary</b>	
	Proposed Site Development Boundary
	Adjacent lands in ownership of applicant
	N6 GCRR Proposed Road Development Boundary. Planning Ref: ABP-318220-23 & ABP-318217-23
<b>Proposed Levels</b>	
FGL	Finished Ground Level
FFL	Finished Floor Level
FPL	Finished Parapet Level
FRL	Finished Ridge Level
<b>Proposed Foul Water Drainage</b>	
	Acco channel
<b>Proposed Surface Water Drainage</b>	
	Acco channel
<b>Proposed Water Services</b>	
	Water point
<b>Proposed Lighting</b>	
LP	Light pole location
<b>Notes:</b>	
Refer to ARUP Drainage Drawings for below ground drainage and proposed finished external levels	
Refer to ARUP Lighting Drawing for proposed external lighting layouts	

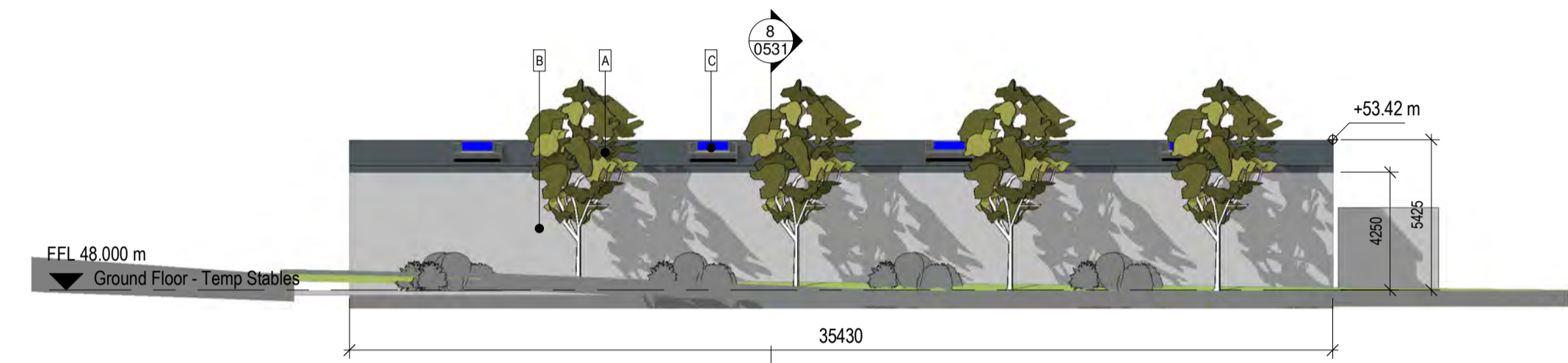
Revisions:				
1	Draft Planning Pack Issue	2023-10-13	SM	
2	Updates for M&E Comments	2023-12-05	MBD	
3	Draft Planning Pack Update	2024-01-12	SM	
4	Issue to ARUP for Planning Application	2024-04-10	SM	
5	Planning Application Issue	2024-05-07	SM	
Rev	Description	Date	By	
Project: Galway Racecourse, Stableyard				
Client: Galway Racecourse				
Title: Maintenance Shed - Proposed Plans, Sections & Elevations				
Drawing / Document Name: Project Number      Project      Originator      Volume      Level      Type      Role      Sheet Number <b>2833</b> GRS-COA-04-ZZ-DR-A <b>0530</b>				
Suitability Status : Code - Description <b>S4 - For Stage Approval</b>				Revision: <b>P- 5</b>
Scale @ A1      Drawn:		Checked:	Date:	
As indicated    Shane Meehan		John Hennigan	20-06-2023	
 <p>Mt Pleasant Business Ctr, Ranelagh, Dublin 6, D06 X7P8 Unit 8A Oran Point, Main St, Oranmore, Co. Galway 01 497 6766   091 788 325   admin@coady.ie   www.coady.ie</p>				



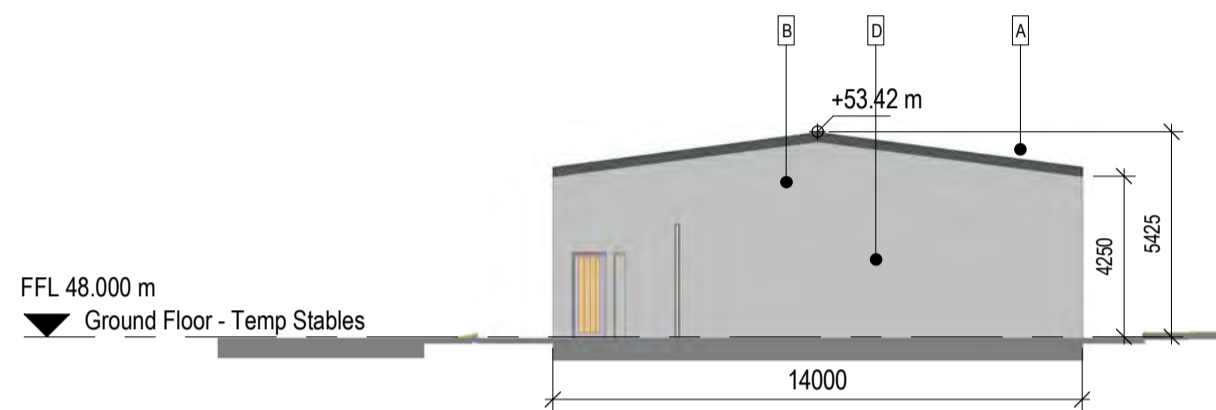
1 Machinery Shed - Proposed East Elevation  
1:200



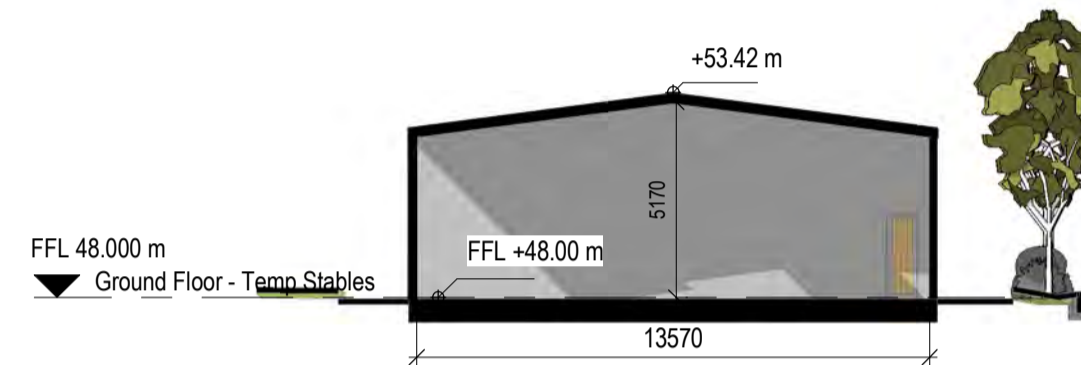
2 Machinery Shed - Proposed North Elevation  
1:200



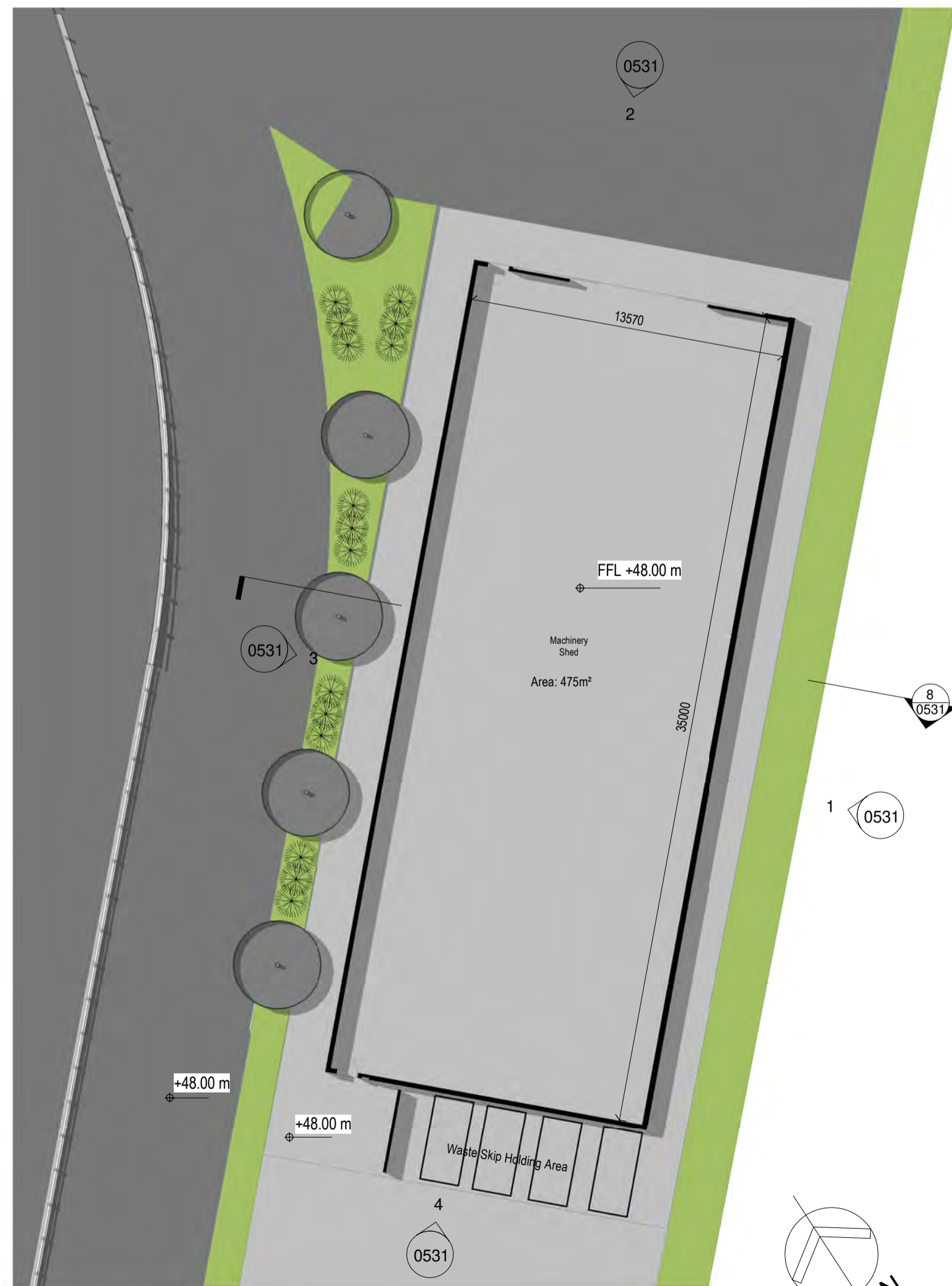
3 Machinery Shed - Proposed West Elevation  
1:200



4 Machinery Shed - Proposed South Elevation  
1:200



8 Machinery Shed - Section A-A  
1:200



5 Proposed-Ground Floor Plan-Machinery Shed  
1:200



7 Proposed-Roof Plan-Machinery Shed  
1:200

Materials
A - Profiled Metal Roof
B - Rendered finish to blockwork
C - Opaque Roof lights
D - Galvanised Steel/Timber Gates



Key Plan-Permanent-Machinery Shed

Legend
<b>Boundary</b>
Site Development Boundary
<b>Proposed Levels</b>
FGL Finished Ground Level
FFL Finished Floor Level
FPL Finished Parapet Level
FRL Finished Ridge Level
<b>NOTES:</b> Refer to ARUP Drainage Drawings for proposed finished external levels
Refer to ARUP Lighting Drawing for proposed external lighting layouts
<b>Proposed Foul Water Drainage</b>
Aco channel
<b>Proposed Surface Water Drainage</b>
Aco channel
<b>Proposed Water Services</b>
Water point
<b>Proposed Lighting</b>
Light pole location
<b>Notes:</b>
Refer to ARUP Drainage Drawings for below ground drainage and proposed finished external levels
Refer to ARUP Lighting Drawing for proposed external lighting layouts

Revisions:			
1	Draft Planning Pack Issue	2023-10-13	SM
2	Draft Planning Pack Update	2024-01-12	SM
3	Updates to Site Plans	2024-02-12	MBD
4	Issue to ARUP for Planning Application	2024-04-10	SM
5	Planning Application issue	2024-05-07	SM
Rev	Description	Date	By
Project:			
Galway Racecourse, Stableyard			
Client:			
Galway Racecourse			
Title:			
Machinery Shed - Proposed Plans, Sections & Elevations			
Drawing / Document Name:			
Project Number	Project	Originator	Volume
2833	GRS-COA-05-ZZ-DR-A	0531	
Suitability Status : Code - Description			Revision:
S4 - For Stage Approval			P- 5
Scale @ A1	Drawn:	Checked:	Date:
As indicated	Molly B Dowling	Shane Meehan	10/10/23
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01 487 9768   091 788 325   admin@coady.ie   www.coady.ie			

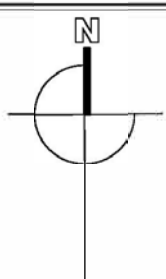
## **APPENDIX C**

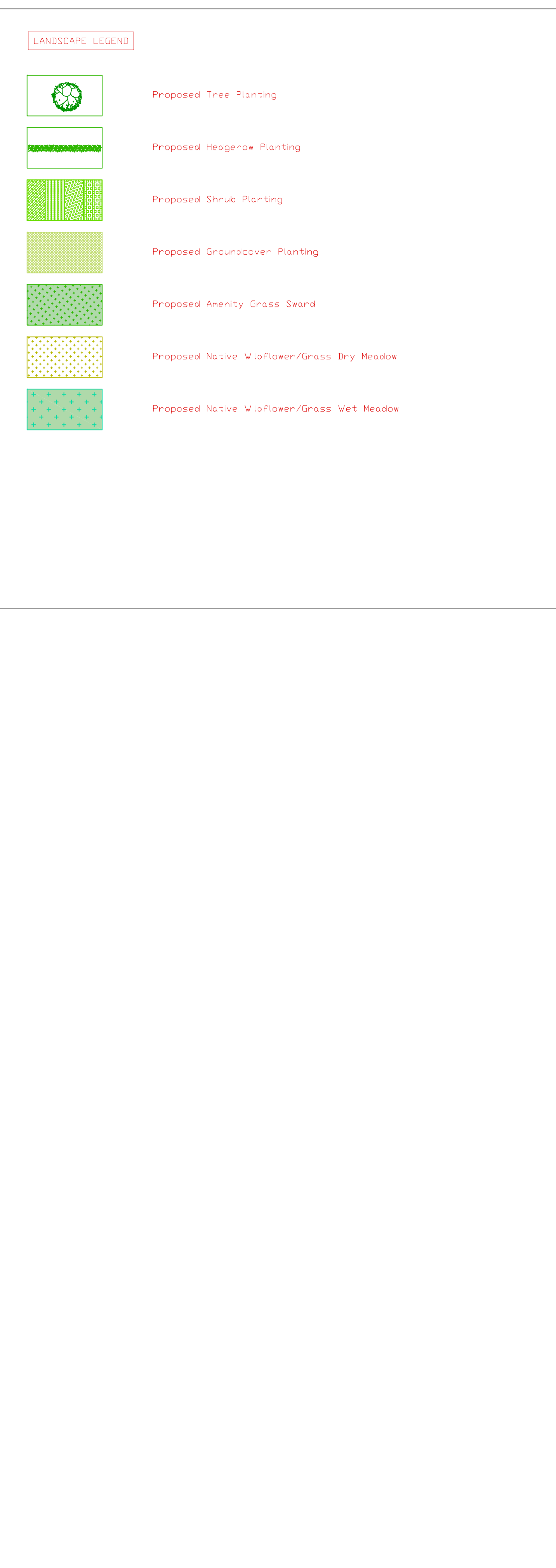
Landscape Planning Set | Brady Shipman Martin

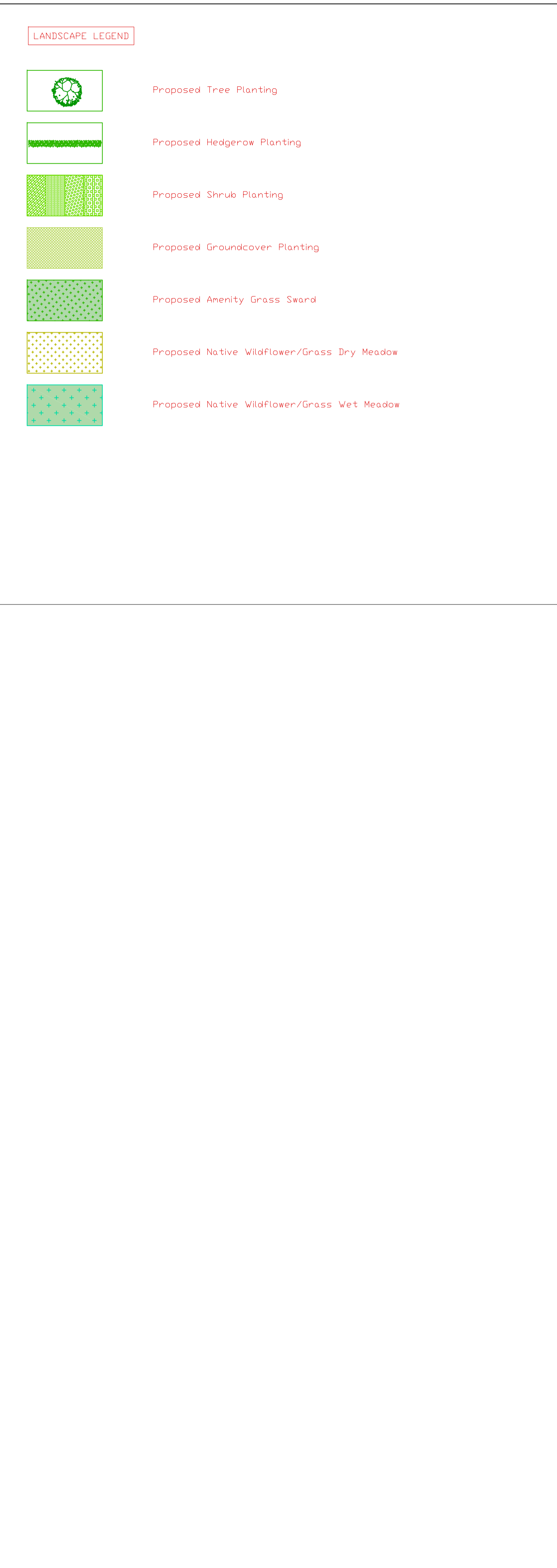



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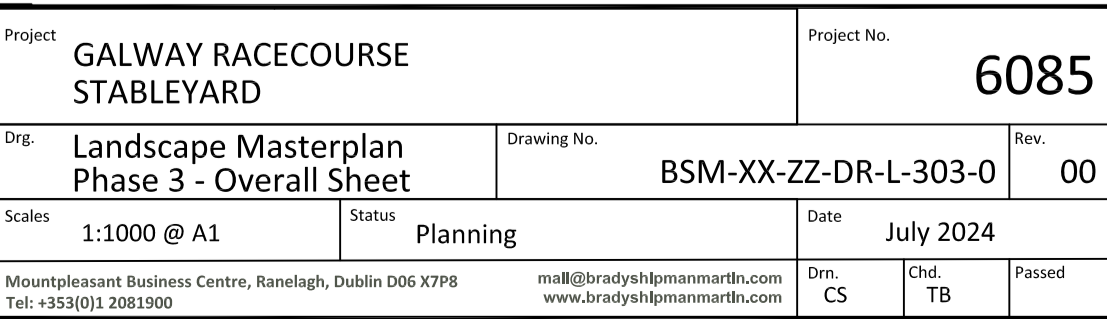
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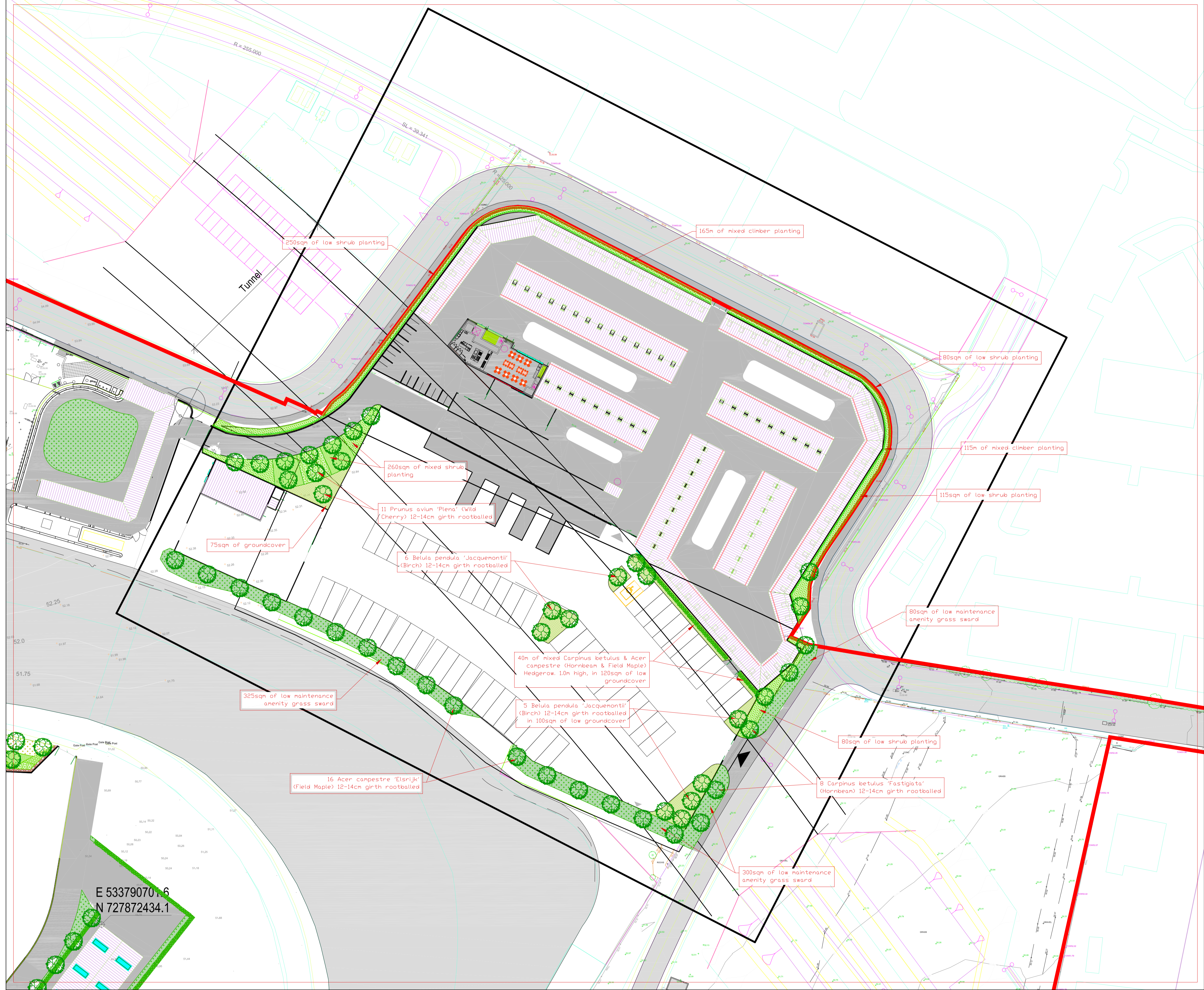


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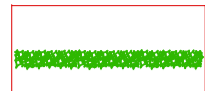




LANDSCAPE LEGEND



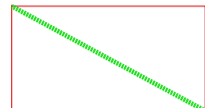
Proposed Tree Planting



Proposed Hedgerow Planting



Proposed Shrub Planting



Climber Planting



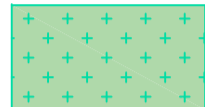
Proposed Groundcover Planting



Proposed Amenity Grass Sward



Proposed Native Wildflower/Grass Dry Meadow



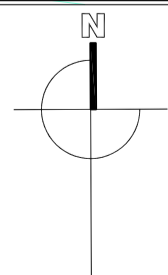
Proposed Native Wildflower/Grass Wet Meadow

E 53379070.6  
N 727872434.1

Notes

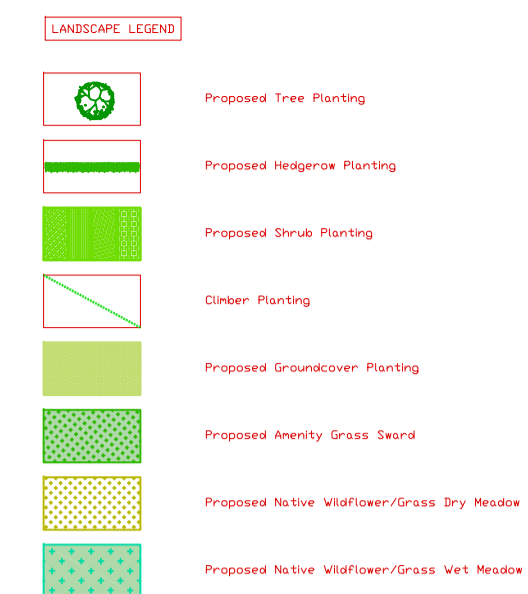
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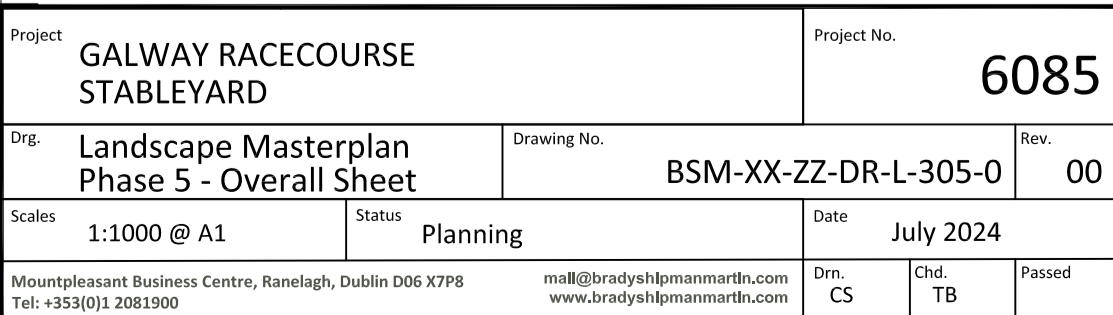
Project GALWAY RACECOURSE STABLEYARD				Project No. 6085	
Drp. Landscape Masterplan Phase 3 - Detail Sheet 1 of 1	Drawing No. BSM-XX-ZZ-DR-L-303-1		Rev. 00		
Scales 1:500 @ A1	Status Planning	Date July 2024			
Mountpleasant Business Centre, Ranelagh, Dublin D06 X7P8		mjb@bradyshpinnamartin.com		Drn. CS	Chd. TB
Tel: +353(0)1 2081300		www.bradyshpinnamartin.com		Passed	





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